

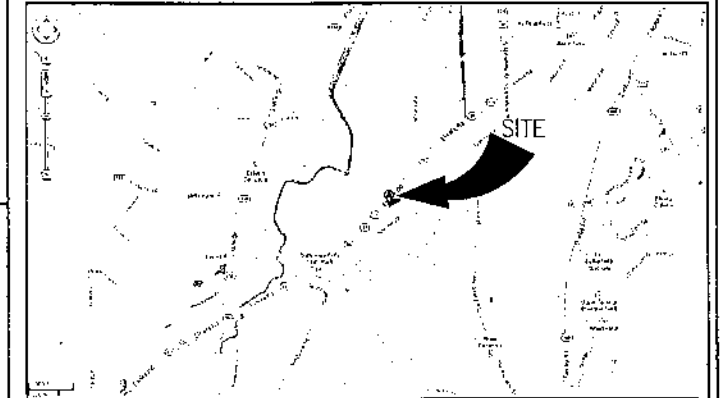
ABBREVIATIONS

ABT	ABOVE FIN FLOOR	HAT	MATERIAL
ALUM	ALUMINUM	MA2	MASONRY
BV/SFD	BOARD	MA3	MASONRY
BLDG	BUILDING	MEM	MEMBRANE
BLK	BLICK	MFG/MANIF	MANUFACTURE
BLDG	BLOCKING	MIN	MINERAL
BTM	BOTTOM	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MO	MASONRY OPENING
CLG	CEILING	MTL	METAL
CMU	CONCRETE MASONRY UNIT	NLL	MULLION
COL	COLUMN	N	NORTH
CONC	CONCRETE	NET	NET TO SCALE
DIA	DIAMETER	OPNC	OPENING
DM	DIMENSION	PL	PLATE
DRL	DETAIL	P LAM	PLASTIC LAMINATE
EFS	EXT INSUL AND FN SYSTEM	PLY	PLYWOOD
EJ	EXPANSION JOINT	PRVT	PAVEMENT
EL	ELEVATION	RD	ROOF DRAIN
EPS	EXPANDED POLYSTYRENE	REF	REFERENCE
EJ	EQUAL	REINFC	REINFORCING
ERST	EXISTING	REQD	REQUIRED
EXP	EXPANSION	RI	RIGID
EXT	EXTERIOR	SAT	SATURATED
FIN	FINISH	SCH	SCHEDULE
FL/FUR	FLOOR FINISH	SDRY	SEMI-DRY
FTD	FOOTING	SECT	SECTION
FURN	FURNITURE	SHT	SHEET
GA	GALVE	SHTRG	SHIELDING
GWB	GYPSONUM WALL BOARD	SIN	SIMILAR
GYP	GYPSONUM	SPEC	SPECIFICATIONS
HC	HANDICAPPED	SYS	SYSTEM
HM	HOLLOW METAL	THA	THICKNESS
INSUL	INSULATION	TOJ	TOP OF JOIST
INT	INTERIOR	TCS	TOP OF STEEL
JT	JOINT	TYP	TYPICAL
		W	WOOD
		WO	WOOD
		WWF	WELDED WIRE FABRIC

PROPOSED 4-STORY HOTEL

371 ELMIRA ROAD
ITHACA, NEW YORK 14850

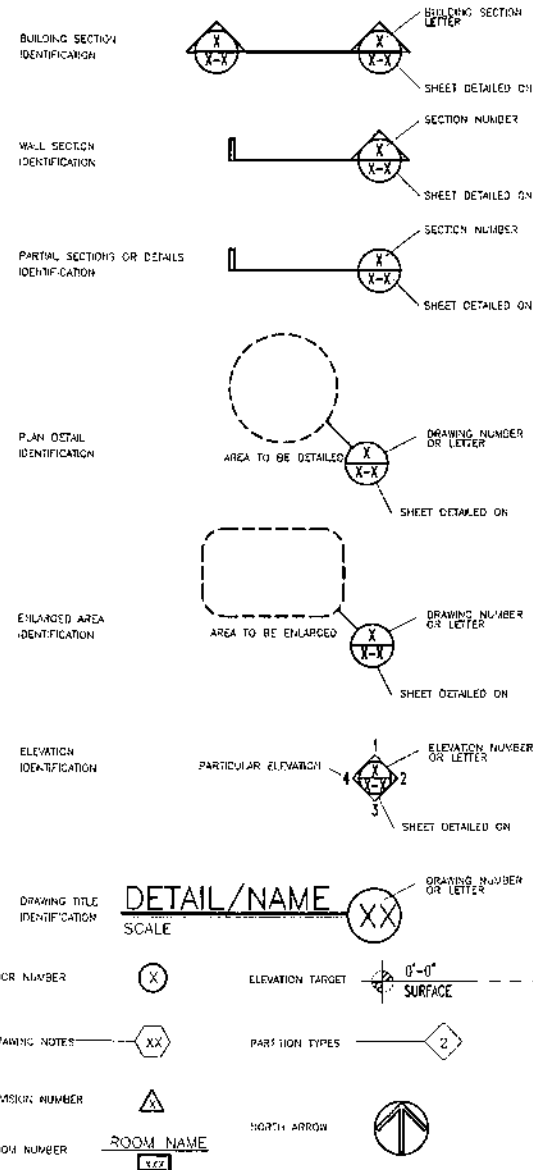
LOCATION MAP TOMPKINS COUNTY, NEW YORK



DEVELOPER

ITHACA HOTELS, LLC
51 ANDERSON ROAD
CHEEKTOWAGA, NEW YORK 14225

SYMBOLS



SITE DESIGN ENGINEER

optima

DESIGN & ENGINEERING, PLLC

2495 Main Street, Suite 301
Buffalo, New York 14214
Phone: (716) 803-6400
Fax: (716) 810-9504
www.op-ti-ma.com



ARCHITECT

SILVESTRI ARCHITECTS, P.C.
1321 MILLERSPORT HIGHWAY, SUITE 101
AMHERST, NEW YORK 14221



SILVESTRI
ARCHITECTS P.C.

DRAWING INDEX

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DIMENSIONAL SITE PLAN	C-1.1
SITE GRADING PLAN	C-2.0
SITE UTILITY PLAN	C-3.0
SITE LANDSCAPE PLAN	C-4.0
TOPOGRAPHIC BOUNDARY SURVEY	(BY T.G. MILLER)

APPROVALS

PLANNING BOARD APPROVAL:

ENGINEERING / MS4 APPROVAL:

WATER / SEWER APPROVALS:

JOANN CORNISH

SCOTT GIBSON

STEVEN MAYBEE

DATE _____

DATE _____

DATE _____

PLUMBING APPROVAL:

BUILDING PERMIT

MARC ALBANESE

MICHAEL NICHWIEADOWICZ

DATE _____

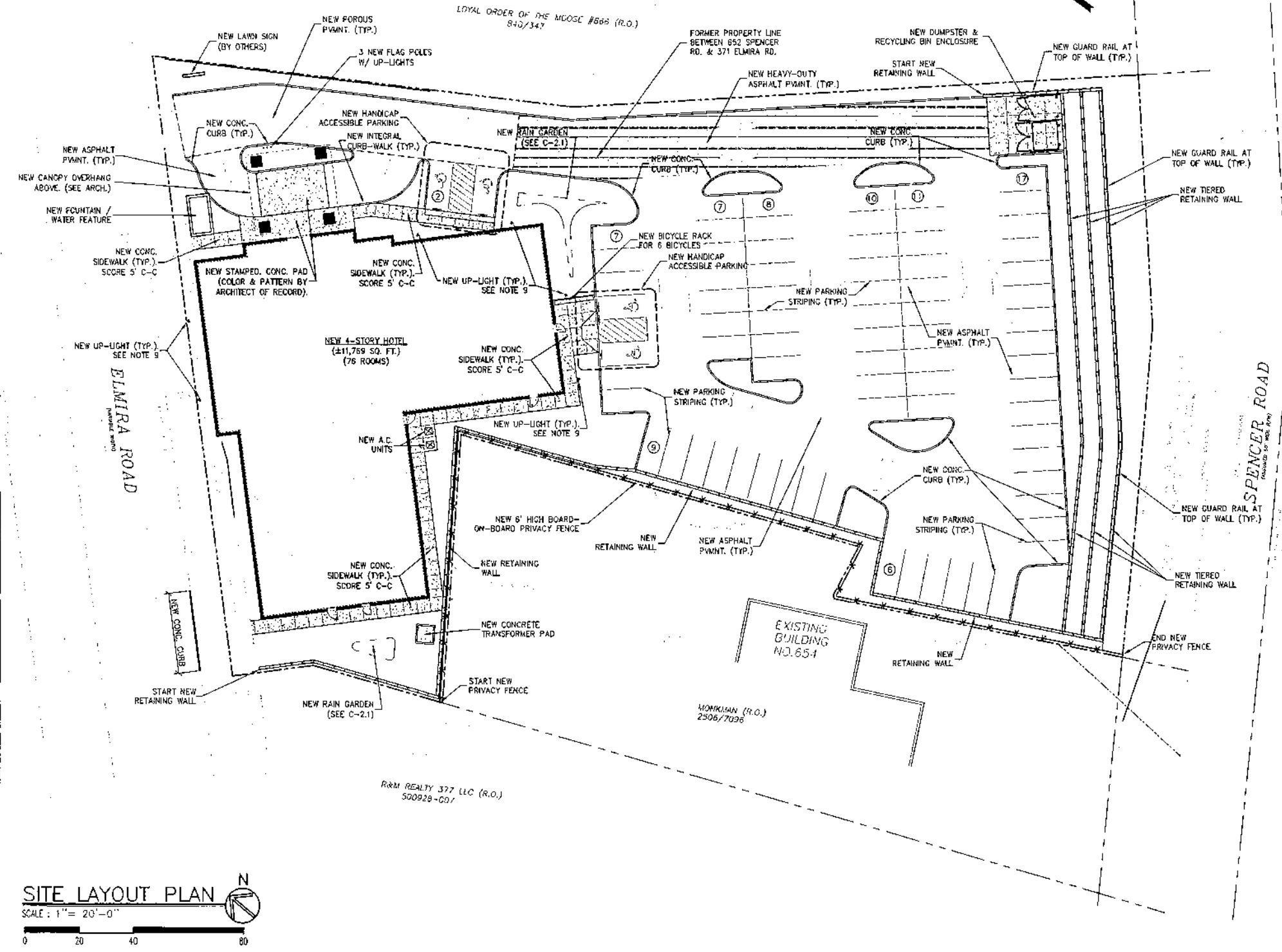
DATE _____

ISSUED FOR SEQR /
SITE PLAN REVIEW
ON 10/15/13

THE CONTRACTOR SHALL CONTACT OPTIMA DESIGN & ENGINEERING BEFORE EXCAVATION & CONSTRUCTION TO ENSURE HE/SHE HAS THE FINAL SET OF DESIGN DOCUMENTS AS ISSUED FOR CONSTRUCTION. THIS PLAN IS CURRENT AS OF THE DATE IT WAS ISSUED. SUBSEQUENT UPDATES OF THIS PLAN BY OPTIMA DESIGN & ENGINEERING DOES NOT AFFORD ANY TRANSFEREE THE RIGHT TO RECEIVE SAID UPDATES, BUT PLACES THE RESPONSIBILITY TO THE TRANSFEREE TO OBTAIN UPDATED PLANS WHICH ARE ISSUED FOR CONSTRUCTION AS THESE MAY DIFFER FROM PREVIOUS PLANS ISSUED FOR PERMIT OR BID.

NOTES

- FOR REFERENCE INFORMATION SEE TOPOGRAPHIC BOUNDARY SURVEY PREPARED BY T.G. MILLER DATED AUGUST 21, 2013, AND IDENTIFIED AS JOB NO. 513-606 INCLUDED WITH THIS SET OF SITE PLANS.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF ITHACA STANDARDS AND NEW YORK STATE CODE REQUIREMENTS, AS WELL AS THE LATEST A.I.S.C., A.C.I., O.S.H.A., AND A.S.T.M. STANDARDS. WHERE CODES OVERLAP, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT CODE.
- WHERE A SPECIFIC MANUFACTURER'S PRODUCT IS CALLED OUT ON THIS SHEET OR ANY OTHER PLAN IN THIS SET OF DRAWINGS, THE CONTRACTOR MUST COMPLY WITH THE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.
- ALL TRAFFIC CONTROL AND WARNING SIGNS SHALL CONFORM TO N.Y.S.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGEWAYS FOR TRAFFIC AND PEDESTRIANS TO EXISTING BUSINESSES WHICH WILL REMAIN IN OPERATION THROUGHOUT THE DURATION OF THE CONSTRUCTION.
- ANY CAST-IN-PLACE CONCRETE SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATIONS (SECTION 501). USE CLASS "C" FOR CURB/STAIR ENCLOSURES, APRONS, OR STRUCTURAL SLABS. USE CLASS "D" FOR SIDEWALKS AND ALL OTHER GENERAL PURPOSE CONCRETE PAVEMENT ON SITE. CEMENT USED TO PRODUCE CONCRETE SHALL CONFORM WITH BOTH AC 318 AND ASTM C1157. CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%.
- ALL CONCRETE CURBS, SIDEWALKS, APRONS, AND PAVES SHALL BE CURED USING A PIGMENTED CURING COMPOUND CONFORMING TO A.S.T.M. C685.
- ANY DEVIATION FROM ANY PLANS IN THIS DRAWING SET SHALL REQUIRE APPROVAL OF DESIGN ENGINEER AND THE CITY OF ITHACA PLANNING AND BUILDING DEPARTMENTS, AS WELL AS THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS.
- COORDINATE EXACT LOCATION OF UP-LIGHTS WITH ARCHITECT OF RECORD FOR HOTEL PROTOTYPE AND BUILDING ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE BARRIER & COVERED WALKWAY FOR FRONT SIDEWALK DURING CONSTRUCTION AS PER 3306.5-3306.7 OF NYS BUILDING CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION. CONTACT CITY OF ITHACA BUILDING DEPARTMENT (274-5508) AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (756-7072) FOR INSTRUCTIONS, PERMIT APPLICATIONS, AND FEES.



CODE & SITE DATA

TOTAL PARCEL = 1.44 ACRES (#62,824 SQ. FT.)
 ZONED: SW-2 (SOUTHWEST)

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (MIN.)	15'-0"	16'-8"
FRONT (MAX.)	34'-0"	16'-8"
SIDE	5'-0"	7'-6"
REAR	15'-0"	21.5'-3"

PARKING SETBACK	REQUIRED	PROVIDED
FRONT	15'-0"	92'-2"
SIDE	5'-0"	5'-0"
REAR	15'-0"	23'-0"

NOTE: FRONT SETBACKS ARE FROM FACE OF CURB

LANDSCAPE	REQUIRED	PROVIDED
GREEN SPACE	12%	30%

PARKING	REQUIRED	PROVIDED
TOTAL	76 SPACES	76 SPACES
HANDICAP	4 SPACES	4 SPACES

PROP. BLDG. FOOTPRINT = #12,578 SQ. FT. (GROSS)
 TOTAL ROOMS = 75
 ROOF MATERIAL: SINGLE-PLY MEMBRANE
 FIRE PROTECTION: SPRINKLER SYSTEM
 MIN. BICYCLE PARKING REQ'D = 6
 TOTAL BICYCLE PARKING PROVIDED = 6
 MIN. FRONTAGE REQ'D = 200'
 TOTAL FRONTAGE = 226'
 MAX. ALLOWABLE BUILDING COVERAGE = 35%
 TOTAL BUILDING COVERAGE = 19%
 MIN. LOT SIZE = 3,000 SQ. FT.
 TOTAL LOT SIZE = 62,824 SQ. FT.

LEGEND

- EXISTING SIGN
- NEW SIGN
- EXISTING FENCE
- NEW FENCE
- EXISTING EDGE OF PAVEMENT
- NEW EDGE OF PAVEMENT
- EXISTING CURB
- NEW CURB (6")
- SITE PARCEL PROPERTY/R.O.W. LINE
- ADJACENT PROPERTY/R.O.W. LINES
- EXISTING UTILITY POLE
- EXISTING LIGHT FIXTURE
- NEW LIGHT FIXTURE
- NEW PARKING SPACE COUNT
- DIRECTIONAL ARROW (NOT PAINTED ON PAVT.)
- EXISTING CONCRETE AREAS
- NEW CONCRETE AREAS
- NEW POROUS PAVEMENT AREAS
- NEW HEAVY-DUTY ASPHALT PAVEMENT AREAS

SITE LAYOUT PLAN

SCALE: 1" = 20'-0"
 0 20 40 80

PROPOSED 4 STORY HOTEL
 371 ELMIRA ROAD
 ITHACA, NEW YORK, 14850

THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE EXCAVATION & CONSTRUCTION TO ENSURE HE/SHE HAS THE FINAL SET OF DESIGN DOCUMENTS AS ISSUED FOR CONSTRUCTION. THIS PLAN IS CURRENT AS OF THE DATE IT WAS ISSUED. SUBSEQUENT UPDATES OF THIS PLAN BY THE DESIGN ENGINEER DOES NOT AFFORD ANY TRANSFER OF THE RIGHT TO RECEIVE SAID UPDATES, BUT PLACES THE RESPONSIBILITY TO THE TRANSFEREE TO OBTAIN UPDATED PLANS, WHICH ARE ISSUED FOR CONSTRUCTION AS THESE MAY DIFFER FROM PREVIOUS PLANS ISSUED FOR PERMIT OR BID.



ISSUED FOR	SEOR / SITE PLAN REV.	10/15/13
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optima
 2306 Main Street, 5th Fl. 101
 Ithaca, New York 14850
 Phone: (607) 875-2400
 Fax: (607) 875-2404

SITE LAYOUT PLAN

DRAWN BY: AVT
 CHECKED BY: OST
 JOB # 13-286

SHEET
C-1.0

WARNING: IT IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY, PLANS, SPECIFICATIONS, OR REPORTS TO WHICH THE SEAL OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER HAS BEEN APPLIED.

NOTES

- FOR REFERENCE INFORMATION SEE TOPOGRAPHIC BOUNDARY SURVEY PREPARED BY T.G. MILLER DATED AUGUST 21, 2013, AND IDENTIFIED AS JOB NO. 513-606 INCLUDED WITH THIS SET OF SITE PLANS.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF ITHACA STANDARDS AND NEW YORK STATE CODE REQUIREMENTS, AS WELL AS THE LATEST A.I.C.C., A.C.I., O.S.H.A., AND A.S.T.M. STANDARDS. WHERE CODES OVERLAP, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT CODE.
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- THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGEWAYS FOR TRAFFIC AND PEDESTRIANS TO EXISTING BUSINESSES WHICH WILL REMAIN IN OPERATION THROUGHOUT THE DURATION OF THE CONSTRUCTION.
- ANY CAST-IN-PLACE CONCRETE SHALL CONFORM TO N.Y.S.O.D.T. STANDARD SPECIFICATIONS (SECTION 501). USE CLASS "C" FOR DUMPSTER ENCLOSURES, APPROXS, OR STRUCTURAL SLABS. USE CLASS "D" FOR SIDEWALKS AND ALL OTHER GENERAL PURPOSE CONCRETE PAVEMENT ON SITE. CEMENT USED TO PRODUCE CONCRETE SHALL CONFORM WITH BOTH ACI 318 AND ASTM C1157. CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%.
- ALL CONCRETE CURBS, SIDEWALKS, APRONS, AND PADS SHALL BE CURED USING A PIGMENTED CURING COMPOUND CONFORMING TO A.S.T.M. C309.
- ANY DEVIATION FROM ANY PLANS IN THIS DRAWING SET SHALL REQUIRE APPROVAL OF DESIGN ENGINEER AND THE CITY OF ITHACA PLANNING AND BUILDING DEPARTMENTS, AS WELL AS THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS.
- COORDINATE EXACT LOCATION OF UP-LIGHTS WITH ARCHITECT OF RECORD PER HOTEL PROTOTYPE AND BUILDING ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE BARRIER & COVERED WALKWAY FOR FRONT SIDEWALK DURING CONSTRUCTION AS PER 3306.5-3306.7 OF NYS BUILDING CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION. CONTACT CITY OF ITHACA BUILDING DEPARTMENT (274-3508) AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (756-7072) FOR INSTRUCTIONS, PERMIT APPLICATIONS, AND FEES.

CODE & SITE DATA

TOTAL PARCEL = 1.44 ACRES (±62,824 SQ. FT.)
ZONED: SW-2 (SOUTHWEST)

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (MIN.)	15'-0"	16'-8"
FRONT (MAX.)	34'-0"	16'-8"
SIDE	5'-0"	7'-6"
REAR	15'-0"	213'-3"

PARKING SETBACK	REQUIRED	PROVIDED
FRONT	15'-0"	92'-2"
SIDE	5'-0"	5'-0"
REAR	15'-0"	23'-0"

NOTE: FRONT SETBACKS ARE FROM FACE OF CURB

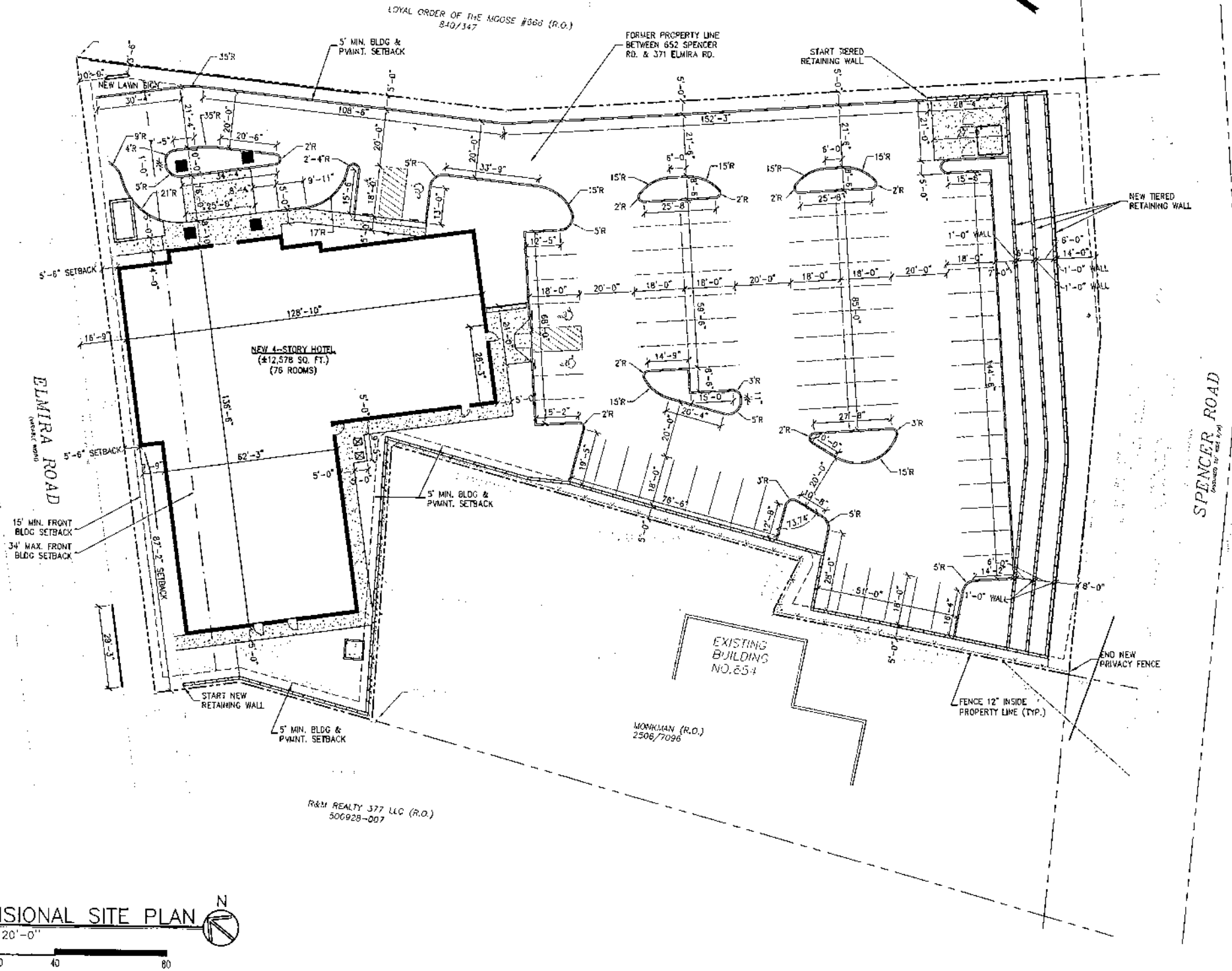
LANDSCAPE	REQUIRED	PROVIDED
GREEN SPACE	12%	30%

PARKING	REQUIRED	PROVIDED
TOTAL	70 SPACES	73 SPACES
HANDICAP	4 SPACES	4 SPACES

PROP. BLDG. FOOTPRINT = ±12,576 SQ. FT. (GROSS)
TOTAL ROOMS = 76
ROOF MATERIAL: SHINGLE-PLY MEMBRANE
PIPE PROTECTION: SPRINKLER SYSTEM
MIN. BICYCLE PARKING REQ'D = 6
TOTAL BICYCLE PARKING PROVIDED = 6
MIN. FRONTAGE REQ'D = 200'
TOTAL FRONTAGE = 226'
MAX. ALLOWABLE BUILDING COVERAGE = 35%
TOTAL BUILDING COVERAGE = 19%
MIN. LOT SIZE = 3,000 SQ. FT.
TOTAL LOT SIZE = 62,824 SQ. FT.

LEGEND

- EXISTING SIGN
- NEW SIGN
- EXISTING FENCE
- NEW FENCE
- EXISTING EDGE OF PAVEMENT
- NEW EDGE OF PAVEMENT
- EXISTING CURB
- NEW CURB (6")
- SITE PARCEL PROPERTY/R.O.W. LINE
- ADJACENT PROPERTY/R.O.W. LINES
- EXISTING UTILITY POLE
- EXISTING LIGHT FIXTURE
- EXISTING CONCRETE AREAS
- NEW CONCRETE AREAS



DIMENSIONAL SITE PLAN
SCALE: 1" = 20'-0"
0 20 40 80

PROPOSED 4 STORY HOTEL
371 ELMIRA ROAD
ITHACA, NEW YORK, 14850

THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE EXCAVATION & CONSTRUCTION TO ENSURE HE/SHE HAS THE FINAL SET OF DESIGN DOCUMENTS AS ISSUED FOR CONSTRUCTION. THIS PLAN IS OBSOLETE AS OF THE DATE IT WAS ISSUED. SUBSEQUENT UPDATES OF THIS PLAN BY THE DESIGN ENGINEER DOES NOT AFFORD ANY TRANSFERRES THE RIGHT TO RECEIVE SAID UPDATES, BUT PLACES THE RESPONSIBILITY TO THE TRANSFEREE TO OBTAIN UPDATED PLANS WHICH ARE ISSUED FOR CONSTRUCTION AS THESE MAY DIFFER FROM PREVIOUS PLANS ISSUED FOR PERMIT OR B.O.



ISSUED FOR PER / SITE PLAN REV.	10/15/13
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DIMENSIONAL SITE PLAN

optima
2495 Main Street, Suite 301
Ithaca, NY 14850
Phone: (607) 852-3400
Fax: (607) 852-3400

DRAWN BY: AVT
CHECKED BY: GST
JOB # 13-288

SHEET
C-1.1

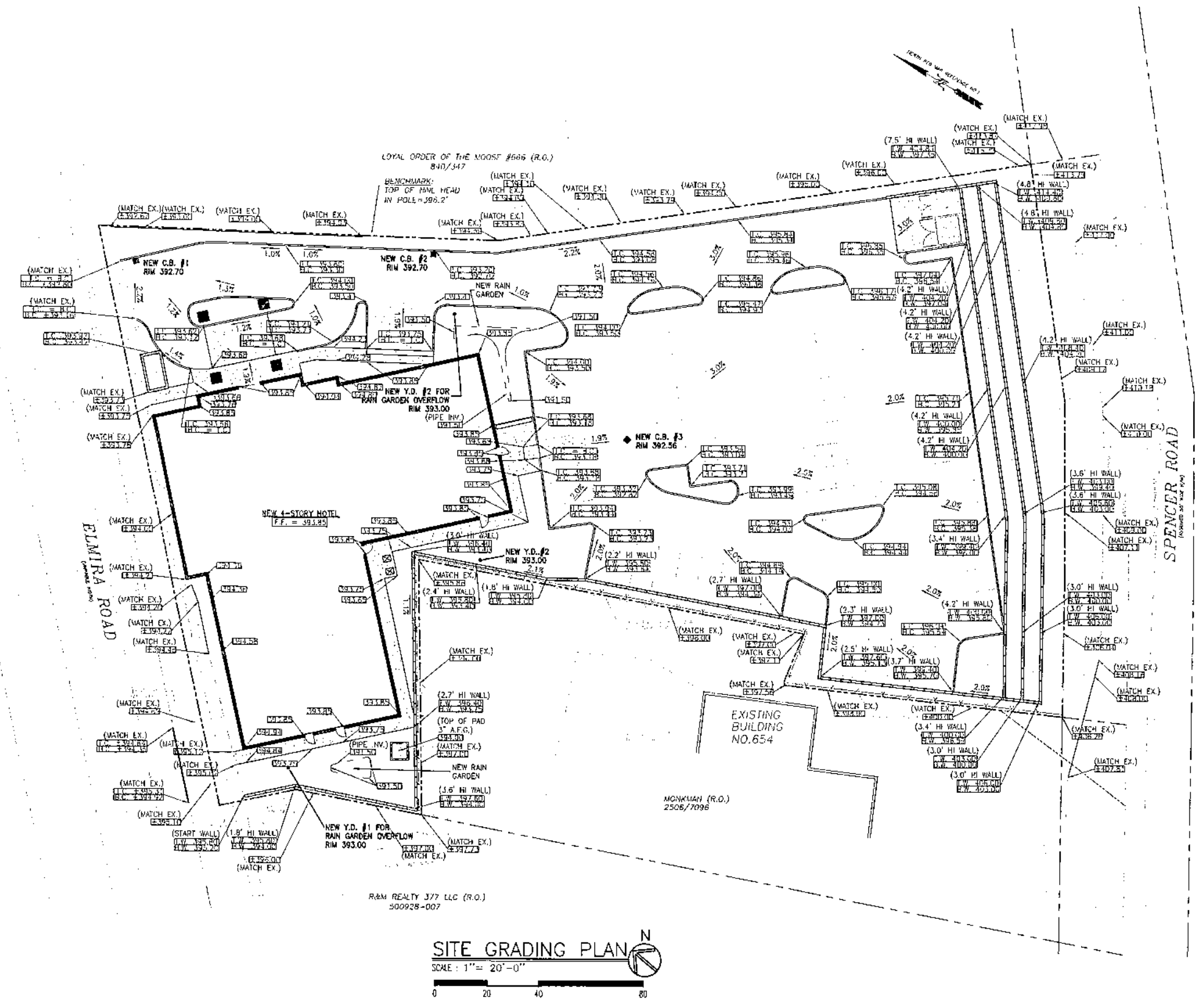
WARNING: IT IS A VIOLATION OF SECTION 7209, SUBSECTION 1, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY, PLANS, SPECIFICATIONS, OR REPORTS TO WHICH THE SEAL OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER HAS BEEN APPLIED.

NOTES

- FOR REFERENCE INFORMATION SEE TOPOGRAPHIC BOUNDARY SURVEY PREPARED BY T.G. MILLER DATED AUGUST 21, 2013, AND IDENTIFIED AS JOB NO. S13-806 INCLUDED WITH THIS SET OF SITE PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF EXCAVATION.
- ALL SOIL FILL AREAS SHALL BE PLACED IN 8" MAXIMUM LIFTS. FILL SHALL NOT BE PLACED ON FROZEN SOIL.
- ALL FILL AREAS BENEATH PAVED AREAS SHALL BE COMPACTED TO A MINIMUM 95% DENSITY IN 6" MAXIMUM LIFTS AS DETERMINED PER ASTM D 1557.
- WHEREVER POSSIBLE, EXCAVATED TOPSOIL SHALL BE STOCKPILED ON SITE AND RE-USED DURING LANDSCAPING AS NECESSARY.
- BEFORE CONSTRUCTION BEGINS, A CERTIFIED LICENSED GEOTECHNICAL ENGINEER SHOULD CONDUCT A FOUNDATION AND SOIL INVESTIGATION IN CONFORMANCE WITH SECTIONS 1802.2 THROUGH 1802.6 OF THE NEW YORK STATE BUILDING CODES. ALL CONSTRUCTION, FILL, AND SITE PREPARATION SHALL MEET OR EXCEED ALL SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.
- FUTURE LAWN AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- PER NYSDEC REQUIREMENTS, PRIOR TO SEEDING OR LANDSCAPING APPLY 6" TOPSOIL (MINIMUM) IN ANY PROPOSED LANDSCAPE OR LAWN AREAS WHERE EXISTING TOPSOIL SHALL BE STRIPPED BUT THERE IS NO CUT, FILL OR CHANGE IN GRADE.
- PER NYSDEC REQUIREMENTS, PRIOR TO SEEDING OR LANDSCAPING, AERATE AND APPLY 6" TOPSOIL (MINIMUM) IN ANY PROPOSED LANDSCAPE OR LAWN AREAS WHERE THERE IS CUT, FILL, OR CHANGE IN GRADE. AERATION SHALL BE ACCOMPLISHED USING COUNTERS WITH SOIL SLITTING, SPIKED SOIL AERATOR ROLLER, OR A PRONGED SL3-SOLLER.
- PER NYSDEC REQUIREMENTS, IN EXISTING PAVED OR BUILDING AREAS THAT WILL BE CONVERTED TO FUTURE LAWN OR LANDSCAPED AREAS, FULL SOIL RESTORATION TECHNIQUES SHALL BE APPLIED PRIOR TO SEEDING OR LANDSCAPING. DURING PERIODS OF RELATIVELY LOW SUBSOIL MOISTURE THE DISTURBED SUBGRADE SOIL SHALL BE SCARIFIED AND 3 INCHES MINIMUM TOPSOIL APPLIED OVER THE SURFACE. COMPOST SHALL THEN BE TILLED INTO THE SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A RIPPER, TRACTOR-MOUNTED DISC, OR TILLER. UNLIFTED STONE OR ROCK MATERIALS SHALL BE REMOVED FROM THE AREA IF THEY ARE 4 INCHES OR LARGER. A 6 INCH MINIMUM LAYER OF TOPSOIL SHALL THEN BE APPLIED TO BRING SURFACE TO FINISHED GRADE AND SEEDING OR VEGETATION COMPLETED PER THE SITE LANDSCAPE PLAN AND DETAILS.
- TILLING SHALL NOT BE PERFORMED WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN OR OVER EXISTING UNDERGROUND UTILITIES LESS THAN 24 INCHES BELOW GRADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION. CONTACT CITY OF ITHACA BUILDING DEPARTMENT (274-6508), ITHACA WATER AND SEWER DEPARTMENT (274-6596) AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (758-7072) FOR INSTRUCTIONS, PERMIT APPLICATIONS, AND FEES.

LEGEND

- EXISTING EDGE OF PAVEMENT
- NEW EDGE OF PAVEMENT
- EXISTING CURB
- NEW CURB (6")
- SITE PARCEL PROPERTY / R.O.W. LINE
- ADJACENT PROPERTY / R.O.W. LINES
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- X.X.X SURFACE FLOW DIRECTION & SLOPE
- EXISTING CATCH BASIN
- NEW CATCH BASIN
- EXISTING MANHOLE
- NEW YARD DRAIN
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- TOP OF CURB ELEVATION
- BOTTOM OF CURB
- NEW SPOT ELEVATION
- TOP OF CURB ELEVATION
- BOTTOM OF CURB



SITE GRADING PLAN
 SCALE: 1" = 20'-0"
 0 20 40 80

PROPOSED 4 STORY HOTEL
 371 ELMIRA ROAD
 ITHACA, NEW YORK, 14850

THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE COMMENCING CONSTRUCTION TO ENSURE HE/SHE HAS THE FINAL SET OF DESIGN DOCUMENTS AS ISSUED FOR CONSTRUCTION. THIS PLAN IS CURRENT AS OF THE DATE IT WAS ISSUED. SUBSEQUENT UPDATES OF THIS PLAN BY THE DESIGN ENGINEER DOES NOT AFFORD ANY WARRANTIES, BUT PLACES THE RESPONSIBILITY TO THE TRANSFEREE TO OBTAIN UPDATED PLANS WHICH ARE ISSUED FOR CONSTRUCTION AS THESE MAY DIFFER FROM PREVIOUS PLANS ISSUED FOR PERMIT OR BID.



ISSUED FOR SEGR. / SITE PLAN REV.	10/15/11
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SITE GRADING PLAN

optima
 2495 Main Street, Suite 301
 Ithaca, New York 14850
 Phone: (607) 873-4400
 Fax: (607) 873-4401

DRAWN BY: AVT
 CHECKED BY: OST
 JOB # 13-298

SHEET
 C-2.0

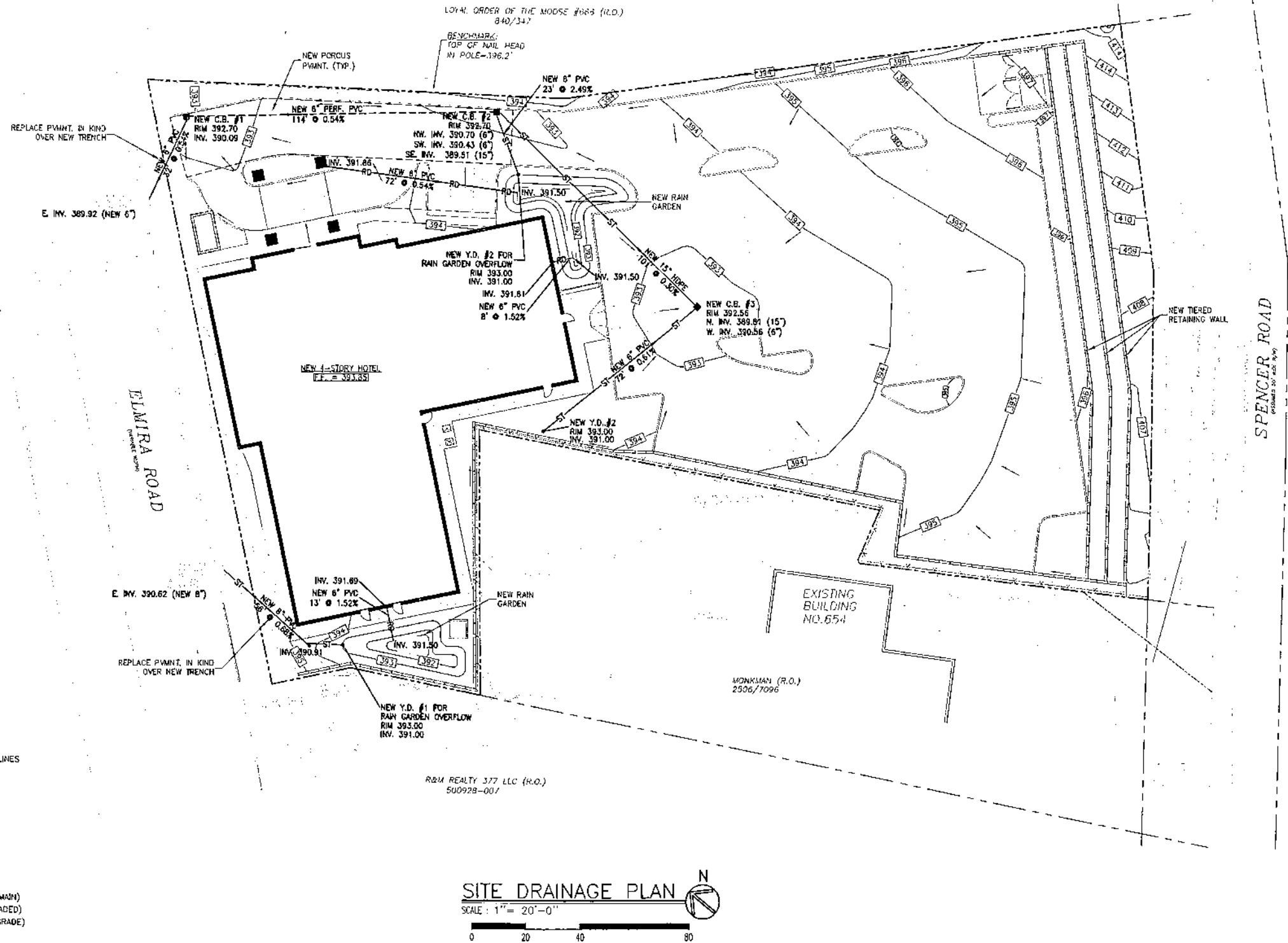
WARNING: IT IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY, PLANS, SPECIFICATIONS, OR REPORTS TO WHICH THE SEAL OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER HAS BEEN APPLIED.

NOTES

- FOR REFERENCE INFORMATION SEE TOPOGRAPHIC BOUNDARY SURVEY PREPARED BY T.G. MILLER DATED AUGUST 21, 2013, AND IDENTIFIED AS JOB NO. 513-606 INCLUDED WITH THIS SET OF SITE PLANS.
- FOR REFERENCE ALSO SEE ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATIONS AND DEPTHS OF ROOF DRAIN LEADER CONNECTIONS AT BUILDING WALLS.
- THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR STORM DRAINAGE SYSTEM FAILURE DUE TO LACK OF INSPECTION OR MAINTENANCE.
- THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR ANY ACCIDENTAL RUPTURES DURING EXCAVATION OR CONSTRUCTION.
- ALL NEW ROOF DRAIN LATERALS SHALL BE 6" DIAMETER PVC SDR-35 CONFORMING TO ASTM D 2665, ASTM D 3034, ASTM F 891, CSA-B182.2, OR CAN/CSA-B182.4.
- ALL NEW HOPE STORM SEWERS SHALL BE ADS N-12 OR APPROVED EQUAL CONFORMING TO ASTM F 405. HOPE STORM SEWERS SHALL MEET OR EXCEED AASHTO M294 STANDARDS.
- ALL PIPE FITTINGS SHALL CONFORM TO ASTM D 2809, ASTM D 2464, ASTM D 2466, ASTM D 2467, CAN/CSA-B137.2, OR ASTM D 2665.
- REGULAR MAINTENANCE OF THE RAIN GARDENS AND POROUS PAVEMENT AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL FILE A DEED RESTRICTION WITH THE CITY OF ITHACA FOR MAINTENANCE OF THE RAIN GARDENS AND POROUS PAVEMENT AREAS.
- THE GENERAL CONTRACTOR SHALL PERFORM ALL APPLICABLE TESTS AS REQUIRED BY THE LOCAL PLUMBING AND BUILDING DEPARTMENT, AS WELL AS TESTS REQUIRED IN THE N.Y.S. PLUMBING CODE SECTIONS 312.2 THRU 312.9.
- ALL JOINTS OR JOINT SYSTEMS FOR NEW STORM SEWERS SHALL BE SILENT TIGHT, AND SHALL RESIST INFILTRATION OF SOIL PARTICLES THAT PASS THE NO. 200 SIEVE. IF GEOTEXTILE WRAP IS SPECIFIED FOR USE IN JOINTS, IT SHALL MEET AASHTO M288, WITH AN APPARENT OPENING SIZE (AOS) GREATER THAN 70.
- PER SP205 GP-0-10-001 REQUIREMENTS, THE RESPONSIBILITY FOR IMPLEMENTATION OF LONG TERM OPERATION AND MAINTENANCE OF THE (STORMWATER MANAGEMENT PRACTICES) SHALL BE VESTED WITH A RESPONSIBLE PARTY BY MEANS OF A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT, DEED COVENANT, OR OTHER LEGAL MEASURE TRANSFERABLE TO FUTURE OWNERS. THE OPERATION AND MAINTENANCE PLAN IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE FOLLOWED AS PART OF THIS AGREEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION. CONTACT CITY OF ITHACA BUILDING DEPARTMENT (274-6508) AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (756-7072) FOR INSTRUCTIONS, PERMIT APPLICATIONS, AND FEES.

LEGEND

- — — — — EXISTING EDGE OF PAVEMENT
- — — — — NEW EDGE OF PAVEMENT
- — — — — EXISTING CURB
- — — — — NEW CURB (6")
- — — — — PROPERTY / R.O.W. LINES
- — — — — ADJACENT PROPERTY / R.O.W. LINES
- RD- -RD- NEW ROOF DRAIN LATERAL
- ST- -ST- EXISTING STORM SEWER
- ST- -ST- NEW STORM SEWER
- — — — — EXISTING UTILITY POLE
- SURFACE FLOW DIRECTION
- EXISTING CATCH BASIN
- NEW CATCH BASIN
- EXISTING MANHOLE
- NEW YARD DRAIN
- NEW CLEAN-OUT
- - - - - EXISTING CONTOUR LINE (TO REMAIN)
- - - - - FORMER CONTOUR LINE (RE-GRADED)
- - - - - NEW CONTOUR LINE (FINISHED GRADE)



PROPOSED 4 STORY HOTEL
371 ELMIRA ROAD
ITHACA, NEW YORK, 14850

THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE EXCAVATION & CONSTRUCTION TO DISURE HE/SHE HAS THE FINAL SET OF DESIGN DOCUMENTS AS ISSUED FOR CONSTRUCTION. THIS PLAN IS CORRECT AS OF THE DATE IT WAS ISSUED. SUBSEQUENT UPDATES OF THIS PLAN BY THE DESIGN ENGINEER DOES NOT AFFORD ANY TRANSFERS: THE RIGHT TO RECEIVE SAID UPDATES, BUT PLACES THE RESPONSIBILITY TO THE TRANSFEREE TO OBTAIN UPDATED PLANS WHICH ARE ISSUED FOR CONSTRUCTION AS THESE MAY DIFFER FROM PREVIOUS PLANS ISSUED FOR PERMIT OR BID.



ISSUED FOR SEAR / SITE PLAN REV.	10/15/13
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optima
CORPORATE PLANNING LLC
2495 TRAILWAY DRIVE, SUITE 301
ITHACA, NEW YORK 14850
PHONE: 607-853-4000
FACILITY: 607-853-4000

SITE DRAINAGE PLAN

DRAWN BY: AVT
CHECKED BY: OST
JOB # 13-289

SHEET
C-2.1

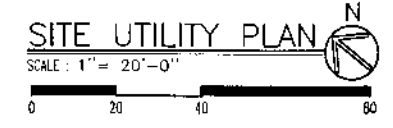
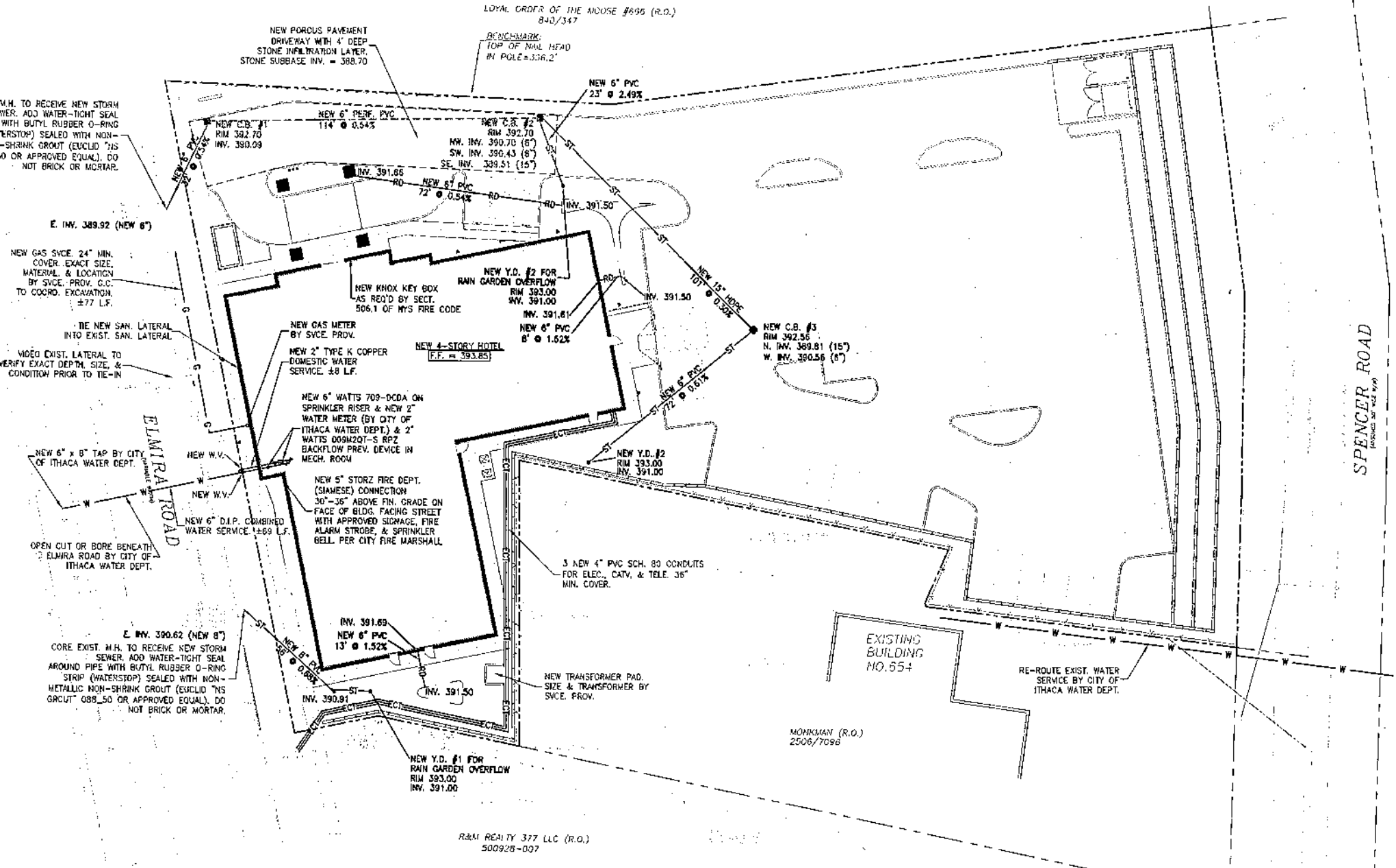
WARNING: IT IS A VIOLATION OF SECTION 2201, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY, PLANS, SPECIFICATIONS, OR REPORTS TO WHICH THE SEAL OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER HAS BEEN APPLIED.

NOTES

- FOR REFERENCE INFORMATION SEE TOPOGRAPHIC BOUNDARY SURVEY PREPARED BY T.G. MILLER DATED AUGUST 21, 2013, AND RECORDED AS JOB NO. 513-506 INCLUDED WITH THIS SET OF SITE PLANS.
- FOR REFERENCE ALSO SEE EXISTING UTILITY CONNECTION LOCATIONS AND DEPTHS ON ARCHITECTURAL, MECHANICAL, ELECTRICAL, HVAC, AND PLUMBING PLANS.
- EXISTING SERVICE UTILITY CONNECTIONS TO BE ABANDONED OR DISCONTINUED SHALL BE SHUT OFF BY THE RESPECTIVE UTILITY AGENCY PRIOR TO THE START OF WORK.
- EXISTING UNDERGROUND UTILITY LINES TO REMAIN WHICH ARE UNCOVERED BY EXCAVATION SHALL BE ADEQUATELY SUPPORTED AND PROTECTED DURING EARTHWORK ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE SLEEVES THROUGH NEW FOUNDATION WALLS AS NECESSARY FOR PROTECTING EXISTING AND PROPOSED UTILITY LINES.
- EXISTING WATERLINES NO LONGER IN SERVICE SHALL BE FIELD VERIFIED, DISCONNECTED, CAPPED, AND ABANDONED IN PLACE AS DIRECTED BY THE CITY OF ITHACA WATER DEPARTMENT. CALL 274-6596 FOR INSTRUCTIONS AND PROCEDURES.
- MAINTAIN A MINIMUM 18 INCHES OF VERTICAL SEPARATION BETWEEN THE OUTSIDE DIAMETER OF NEW WATERLINES AND THE OUTSIDE DIAMETER OF SANITARY SEWER PIPING.
- MAINTAIN A MINIMUM 10 FOOT OF HORIZONTAL SEPARATION BETWEEN THE OUTSIDE DIAMETER OF NEW WATERLINES AND THE OUTSIDE DIAMETER OF SANITARY OR STORM SEWER PIPING.
- THE CITY OF ITHACA WATER DEPARTMENT SHALL PERFORM ALL WATER LINE WORK FROM TAP IN FRONT ON THE WATERMAIN TO THE VALVES ON THE RIGHT-OF-WAY LINE.
- AS PER SECTION 111.1 OF THE NEW YORK STATE BUILDING CODE, ALL NEW GAS, TELEPHONE, CABLE TV, AND ELECTRICAL UTILITIES SHALL BE DESIGNED, SIZED, AND INSTALLED BY THE RESPECTIVE UTILITY AGENCIES.
- ALL NEW WATER LINE PIPING SHALL BE INSTALLED WITH A MIN. 4'-6" (54 INCH) DEPTH OF COVER. ANY MECHANICAL JOINTS ON WATERLINES (IF USED) SHALL BE MADE IN CONFORMANCE TO ASTM D 3139 OR AWWA C111. JOINTS BETWEEN DIFFERENT PIPING MATERIALS SHALL CONFORM TO ASTM D 1869 OR ASTM F 477.
- THE NEW COMBINED WATER SERVICE LINE SHALL BE INSTALLED AND OWNED BY THE CITY OF ITHACA WATER DEPARTMENT UP TO THE RIGHT-OF-WAY LINE. THE REMAINING WATERLINE AND FIRE PROTECTION SERVICE LINE (INCLUDING THE NEW VALVES AND VALVE BOXES) SHALL BE INSTALLED BY THE CONTRACTOR AND PRIVATELY OWNED AND MAINTAINED.
- THE FIRE PROTECTION LINE SHALL BE INSPECTED, TESTED, AND MAINTAINED IN CONFORMANCE WITH NFPA 25, AS PER SECTION 508.5.3 OF THE NEW YORK STATE FIRE CODE.
- THE NEW RPZ BACKFLOW PREVENTION DEVICE SHALL BE PRIVATELY OWNED AND MAINTAINED.
- THE NEW WATER METER SHALL BE SUPPLIED, INSTALLED, OWNED, AND MAINTAINED BY THE CITY OF ITHACA WATER DEPARTMENT.
- ALL NEW WATER SERVICE LINES SHALL BE DISINFECTED IN CONFORMANCE WITH AWWA SPECIFICATION C-651 PRIOR TO THE BEGINNING OF SERVICE.
- THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR ANY ACCIDENTAL RUPTURES DURING EXCAVATION OR CONSTRUCTION.
- ALL NEW SANITARY SEWERS SHALL BE PVC (SDR-35) AND SHALL CONFORM TO ASTM D 3034, ASTM D 2685, ASTM D 2949, ASTM F 891, CSA B182.2, OR CAN/CSA-B182.4 STANDARDS. ALL NEW SANITARY SEWER FITTINGS SHALL CONFORM TO ASTM D 2861, ASTM D 3311, ASTM F 628, OR ASTM D 2865. ALL COMPRESSION GASKETS FOR HUB AND SPIGOT PIPE AND FITTINGS SHALL CONFORM TO ASTM C 564.
- JOINTS BETWEEN DIFFERENT PIPE MATERIALS SHALL BE MADE WITH A CONNECTION CONFORMING TO ASTM C 425, ASTM C 443, ASTM C 564, ASTM C 1173, ASTM D 1869, ASTM F 477, CAN/CSA A257.3A, OR CAN/CSA B602M.
- ALL NEW DUCTILE IRON WATERLINES SHALL BE CLASS 51 MINIMUM, AND SHALL MEET OR EXCEED THE LATEST ANSI / AWWA C151 / A21.51 OR C115 SPECIFICATIONS, AS WELL AS NSF 61. ALL DUCTILE IRON WATERLINES SHALL ALSO BE COATED-MORTAR LINED IN CONFORMANCE WITH AWWA C104.
- ALL NEW WATERLINES, VALVES, AND APPURTENANCES THAT ARE IN CONTACT WITH POTABLE WATER SHALL BE NSF/ANSI 61 CERTIFIED. ALL DUCTILE IRON PIPE FITTINGS SHALL CONFORM TO AWWA C110 AND C153.
- ALL NEW ROOF DRAIN LATERALS SHALL BE PVC (SDR-35) CONFORMING TO ASTM D 2729, ASTM D 3034, ASTM F 891, CSA-B182.2, OR CAN/CSA-B182.4. ALL NEW ROOF STORM SEWERS SHALL CONFORM TO ASTM F 405 AND AASHTO M294.
- A CERTIFIED BACKFLOW PREVENTION DEVICE TESTER RETAINED BY THE OWNER SHALL APPROVE AND CERTIFY SATISFACTORY INSTALLATION OF THE DEVICE WITHIN 45 DAYS OF THE INSTALLATION. THE COMPLETED DOB-1013 FORM SHALL BE SUBMITTED TO THE NEW YORK STATE HEALTH DEPARTMENT AND CITY OF ITHACA WATER DEPARTMENT WITHIN 30 DAYS OF TESTING THE DEVICE.
- AN ANNUAL TEST TO CERTIFY THE DEVICE MEETS THE REQUIREMENTS OF AN ACCEPTABLE CONTAMINANT DEVICE SHALL BE COMPLETED BY A N.Y.S. CERTIFIED TESTER ON A YEARLY BASIS AND SUBMITTED TO THE NEW YORK STATE HEALTH DEPARTMENT AND CITY OF ITHACA WATER DEPARTMENT WITHIN 30 DAYS OF TESTING THE DEVICE.
- THE GAS SERVICE PROVIDER SHALL SUPPLY, INSTALL, OWN, AND MAINTAIN THE NEW GAS METER. THE SERVICE PROVIDER SHALL ALSO TAP, INSTALL, AND OWN THE NEW SERVICE LINE FROM MAIN TO NEW METER. CONTACT THE SERVICE PROVIDER FOR INSTRUCTIONS, INSTALLATION COORDINATION, INSPECTION APPOINTMENTS, PERMIT APPLICATIONS, AND FEES.
- THE ELECTRIC SERVICE PROVIDER SHALL SUPPLY THE NEW ELECTRIC METER. THE ELECTRIC CONTRACTOR SHALL INSTALL THE NEW ELECTRIC METER AND ELECTRIC CONDUITS IN COORDINATION WITH THE SERVICE PROVIDER. THE SERVICE PROVIDER SHALL ALSO TAP THE NEW SERVICE TO THE EXISTING UTILITY POLE. THE ELECTRIC CONTRACTOR SHALL LEAVE ENOUGH WIRE TO REACH THE SECONDARY BUSHING OF THE NEW POLE-MOUNTED TRANSFORMER. CONTACT THE SERVICE PROVIDER FOR INSTRUCTIONS, INSTALLATION COORDINATION, INSPECTION APPOINTMENTS, PERMIT APPLICATIONS, AND FEES.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM 12" VERTICAL SEPARATION DISTANCE BETWEEN EXISTING GAS AND ELECTRIC LINES AND NEW WATERLINES, STORM, OR SANITARY SEWERS. ALL NEW UNDERGROUND UTILITIES SHALL PASS BENEATH EXISTING ELECTRIC AND GAS LINES UNLESS CONSENT IS OTHERWISE GIVEN BY THE SERVICE PROVIDER OR EASEMENT OWNER.
- THE GENERAL CONTRACTOR SHALL PERFORM ALL APPLICABLE TESTS AS REQUIRED IN THE N.Y.S. PLUMBING CODE SECTIONS 312.2 THRU 312.9 AND AWWA C600.
- ANY PLAIN END DUCTILE IRON WATERLINE PIPE SHALL BE JOINED TO FLANGED FITTINGS USING UNI-FLANGE UF400 ADAPTER FLANGES OR APPROVED EQUAL.
- DUCTILE IRON WATERLINES WITH MECHANICAL JOINTS SHALL BE RESTRAINED USING UNI-FLANGE SERIES 1400 OR SERIES 1430 RESTRAINERS OR APPROVED EQUAL.
- ALL JOINTS OR JOINT SYSTEMS FOR NEW STORM SEWERS SHALL BE SET TIGHT, AND SHALL RESIST INFLTRATION OF SOIL PARTICLES THAT PASS THE NO. 200 SIEVE. IF GEOTEXTILE WRAP IS SPECIFIED FOR USE IN JOINTS, IT SHALL MEET AASHTO M288, WITH AN APPARENT OPENING SIZE (AOS) GREATER THAN 70. ALL JOINTS OR JOINT SYSTEMS FOR SANITARY SEWERS OR LATERALS SHALL BE WATER TIGHT TO LIMIT LEAKAGE TO A MAXIMUM RATE OF 100 GALLONS PER INCH-DIAMETER PER INCH PER DAY.
- THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND CONDUIT TO PARKING LOT LIGHT POLES, ACCENT UP-LIGHTING, MONUMENT SIGN, AND WATER FEATURE ELECTRIC BOX IN COORDINATION WITH THIS PLAN IN THE SHORTEST, MOST CONVENIENT, AND COST-EFFECTIVE ORIENTATION POSSIBLE.
- ANY FUTURE LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED BY OTHERS AND INSTALLED DOWNSTREAM OF THE NEW WATER METER AND BACKFLOW PREVENTION DEVICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION. CONTACT CITY OF ITHACA BUILDING DEPARTMENT (274-6508), ITHACA WATER AND SEWER DEPARTMENT (274-6506) AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (756-7072) FOR INSTRUCTIONS, PERMIT APPLICATIONS, AND FEES.

LEGEND

NEW ELEC., TELE., & CATV CONDUITS	EXISTING CATCH BASIN
EXISTING TELEPHONE LINE	NEW CATCH BASIN
NEW TELEPHONE LINE	EXISTING WATER VALVE
EXISTING GAS LINE	NEW WATER VALVE
NEW GAS LINE	EXISTING MANHOLE
EXISTING WATER LINE	NEW YARD DRAIN
NEW WATER LINE	EXISTING UTILITY POLE
EXISTING ELECTRIC LINE	EXISTING LIGHT FIXTURE
NEW ELECTRIC LINE	EXISTING CLEAN-OUT
EXISTING OVERHEAD WIRES	NEW CLEAN-OUT
NEW OVERHEAD WIRES	EXISTING SANITARY SEWER
EXISTING SANITARY SEWER	NEW SANITARY SEWER
NEW SANITARY SEWER	EXISTING STORM SEWER
EXISTING STORM SEWER	NEW STORM SEWER
PERFORATED UNDERDRAIN	EXISTING STORM SEWER
ROOF DRAIN LATERAL	PERFORATED UNDERDRAIN
	ROOF DRAIN LATERAL



PROPOSED 4 STORY HOTEL
371 ELMIRA ROAD
ITHACA, NEW YORK, 14850

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STAMP/SEAL

ISSUED FOR SEWR / SITE PLAN REV. 10/15/13

optima
CORPORATION

2475 Main Street, Suite 301
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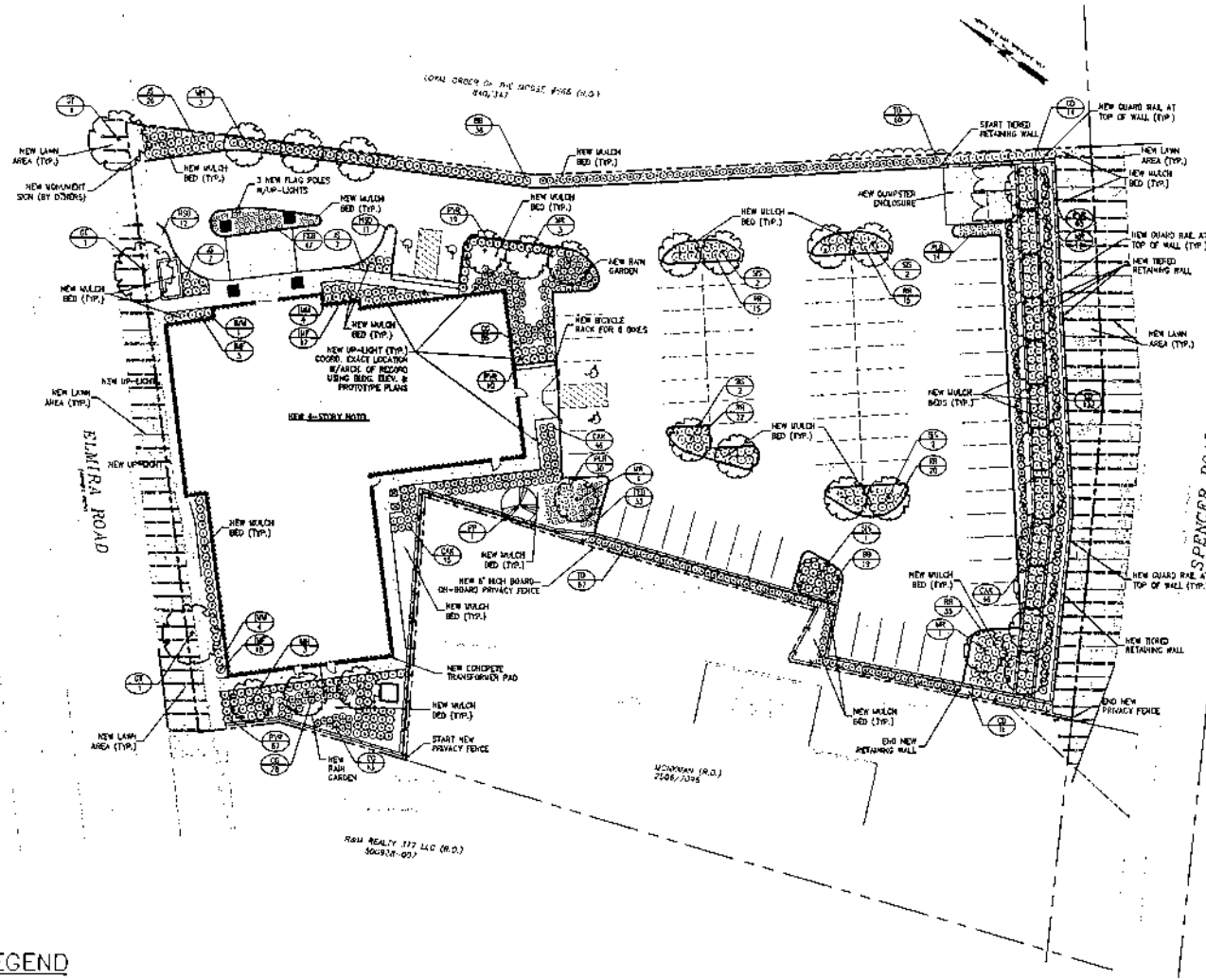
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JOB # 13-286

SHEET
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WARNING: IT IS A VIOLATION OF SECTION 7203, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY, PLANS, SPECIFICATIONS, OR REPORTS TO WHICH THE SEAL OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER HAS BEEN APPLIED.

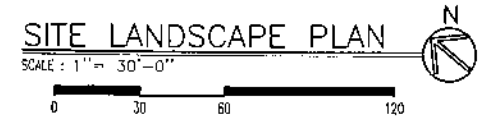
LANDSCAPE NOTES

- ON TRANSPLANTED TREES OR SHRUBS THE CONTRACTOR SHALL APPLY A QUALITY ANTI-DESICCANT SUCH AS "WILT-FREE" OR APPROVED EQUIVALENT TO THE PLANTS TO ENSURE SURVIVAL. ON DECIDUOUS APPLY WITHIN TEN DAYS FOLLOWING PLANTING. ON EVERGREENS APPLY WHEN LEAVES HAVE REACHED AT LEAST 75% MATURE SIZE. DURING AUTUMN ONLY APPLY WHEN TEMPERATURE IS 40°F. OR ABOVE.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE INCLUDING FERTILIZING, RE-SEEDING, AND WATERING AS REQUIRED DURING LANDSCAPE INSTALLATION AND PLANTING FOR A MINIMUM PERIOD OF 12 MONTHS FROM PLANTING DATE.
- THE CONTRACTOR SHALL SCARIFY ALL NEW LANDSCAPE AREAS PRIOR TO SEEDING. REMOVE DEBRIS AND ROCKS TO 24" DEPTH PRIOR TO APPLYING TOPSOIL. LIME SOIL AS NECESSARY TO A PH OF 6.5. FERTILIZE WITH 850 LBS. OF 5-10-10 OR EQUIVALENT PER ACRE (20 LBS. PER EVERY 1000 SQ. FT.). LIME AND FERTILIZE THE TOP 2"-4" OF TOPSOIL.
- THE CONTRACTOR SHALL FURNISH AND INSTALL A 3" MINIMUM LAYER OF HIGH-QUALITY SPREADDED HARDWOOD BARK OR CEDAR MULCH IN ALL PLANTING BEDS.
- ALL PROPOSED LANDSCAPE AREAS AND PLANTING BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR UNSTABLE SOILS TO A DEPTH OF 24" AND BACKFILLED WITH TOPSOIL AND THE PLANTING MIXTURE AS SPECIFIED IN THE DETAILS.
- THE CONTRACTOR SHALL ERECT TEMPORARY CONSTRUCTION FENCING AROUND ALL EXISTING TREES TO REMAIN WITHIN THE PROJECT LIMITS TO PROTECT FROM SITE WORK DISTURBANCE.
- BURLAP MESH MAY BE USED TO COVER SEEDING ON ANY SLOPE EMBANKMENTS STEEP ENOUGH TO INPEDE THE ESTABLISHMENT OF LAWN AREAS.
- UNLESS RECOMMENDED OTHERWISE BY THE SEED VENDOR OR THE LANDSCAPE CONTRACTOR, PERMANENT GRASS SEEDING SHALL CONSIST OF A MIXTURE OF THE FOLLOWING:
 - KENTUCKY BLUEGRASS = 25% BY WEIGHT (95% MIN. PURITY; 85% MIN. GERMINATION)
 - PERU LAWN RED FESCUE = 25% BY WEIGHT (95% MIN. PURITY; 85% MIN. GERMINATION)
 - TREBLE CROWN PERENNIAL RYE = 50% BY WEIGHT (95% MIN. PURITY; 90% MIN. GERMINATION)
- HAND-BROADCASTING OR HYDRO-SEEDING AND HYDRO-MULCHING SHALL BE USED TO ESTABLISH ALL NEW LAWN AREAS. IF HAND-BROADCASTING, SEW SEED AT A RATE OF 5 LBS. PER 1000 SQ. FT. RAKE SEED INTO TOP 1/8" OF TOPSOIL. ROLL AND WATER WITH FINE MIST. WATER SEED AS RECOMMENDED BY SEED VENDOR. UNIFORMLY SPREAD 2 INCHES OF STRAW MULCH OVER ENTIRE SEEDING AREA. AT THE RATE OF 2 TONS PER ACRE. IMMEDIATELY AFTER ROLLING AND WATERING, SEEDING AREAS REMOVE ANY WIND-SWEEP MULCH PILES AS NECESSARY TO PREVENT DAMAGE TO GRASS.
- IF REQUIRED, ONLY NEW YORK STATE OR EPA-APPROVED INSECTICIDES SHALL BE APPLIED PER MANUFACTURER'S INSTRUCTIONS.
- IN AREAS WHERE DECORATIVE STONES OR MULCH MAY BE USED, THE CONTRACTOR SHALL INSTALL A QUALITY WOVEN LANDSCAPE FABRIC (SUCH AS FABRISCOPE 4.75 OZ. WOVEN WEED RESTRICTOR PLUS OR APPROVED EQUAL) FOR WEED CONTROL BENEATH A 2"-3" LAYER OF 1/2" LANDSCAPE STONE OR CEDAR / HARDWOOD BARK MULCH. CALL (800) 992-0550 TO ORDER AND FOR INSTALLATION INSTRUCTIONS.
- TOPSOILING AND SEEDING, HYDROSEEDING, OR SOODING SHALL TAKE PLACE WITHIN 24 HOURS OF FINAL GRADING. SEED SHALL NOT BE BROADCAST DURING CONDITIONS OF HIGH WIND OR EXCESSIVE MOISTURE.
- FERTILIZERS SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS REQUIRED BY THE MANUFACTURER. FERTILIZERS SHALL BE COMPLETELY WORKED INTO THE SOIL IMMEDIATELY FOLLOWING APPLICATION TO LIMIT EXPOSURE TO STORMWATER RUNOFF. FERTILIZERS SHALL BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS SHALL BE TRANSFERRED TO A SECURELY-SEALED BIN TO AVOID SPILLS.
- HOW NEWLY SEEDING AREAS FOR THE FIRST THREE (3) TIMES, AT EACH MORNING OUT TO A HEIGHT OF 2 INCHES AFTER GROWTH HAS REACHED APPROXIMATELY 3-1/2 INCHES. APPLY FERT AND FERT AS DIRECTED ON MANUFACTURER'S APPLICATION INSTRUCTIONS AFTER THE SECOND MORNING.
- IF ROOTS OF EXISTING TREES TO REMAIN NEED TO BE REMOVED TO ALLOW FOR NEW STRUCTURE, UNDERGROUND UTILITY, OR PAVEMENT INSTALLATION A CERTIFIED TREE SURGEON SHALL PERFORM ALL SUCH WORK AND SHALL PRUNE THE CANOPY TO AN EQUAL PROPORTION.
- ALL NEW LAWN AREAS SHALL HAVE A 6 INCH MINIMUM LAYER OF TOPSOIL BEFORE SEEDING.
- ANY EXISTING TREES TO REMAIN THAT ARE KILLED DUE TO ROOT DISTURBANCE SHALL BE REPLACED IN KIND BY THE CONTRACTOR.
- ALL NEW LAWN AREAS SHALL BE COMPLETE IN COVERAGE AND VIGOROUS IN GROWTH IN ORDER TO BE ACCEPTABLE. REPAIR, RE-SEED, AND WATER NEW LAWN AREAS AS NECESSARY UNTIL THEY REACH THE LEVEL OF FINAL ACCEPTANCE.
- PER NYSDEC REQUIREMENTS, PRIOR TO SEEDING OR LANDSCAPING APPLY 6" TOPSOIL (MINIMUM) IN ANY PROPOSED LANDSCAPE OR LAWN AREAS WHERE EXISTING TOPSOIL SHALL BE STRIPPED BUT THERE IS NO CUT, FILL, OR CHANGE IN GRADE.
- PER NYSDEC REQUIREMENTS, PRIOR TO SEEDING OR LANDSCAPING, AERATE AND APPLY 6" TOPSOIL (MINIMUM) IN ANY PROPOSED LANDSCAPE OR LAWN AREAS WHERE THERE IS CUT, FILL, OR CHANGE IN GRADE. AERATION SHALL BE ACCOMPLISHED USING COLLATORS WITH SOIL SLITTING, SPRAYED SOIL AERATOR ROLLER, OR A PNEUMATIC SUB-SOILER.
- PER NYSDEC REQUIREMENTS, IN EXISTING PAVED OR BUILDING AREAS THAT WILL BE CONVERTED TO FUTURE LAWN OR LANDSCAPED AREAS FULL SOIL RESTORATION TECHNIQUES SHALL BE APPLIED PRIOR TO SEEDING OR LANDSCAPING. DURING PERIODS OF RELATIVELY LOW SUBSOIL MOISTURE, THE DISTURBED SUBGRADE SOIL SHALL BE SCARIFIED AND 3 INCHES MINIMUM TOPSOIL APPLIED OVER THE SUBGRADE. COMPOST SHALL THEN BE TILLED INTO THE SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A RIPPER. TRACTOR-MOUNTED DISC, OR TILLER. UPLIFTED STONE OR ROCK MATERIALS SHALL BE REMOVED FROM THE AREA IF THEY ARE 4 INCHES OR LARGER. A 6 INCH MINIMUM LAYER OF TOPSOIL SHALL THEN BE APPLIED TO BRING SURFACE TO FINISHED GRADE AND SEEDING OR VEGETATION COMPLETED PER THE SITE LANDSCAPE PLAN AND DETAILS.
- TILLING SHALL NOT BE PERFORMED WITHIN THE DRP LINE OF EXISTING TREES TO REMAIN OR OVER EXISTING UNDERGROUND UTILITIES LESS THAN 24 INCHES BELOW GRADE.



LEGEND

- EXISTING TREE OR SHRUB TO REMAIN
- NEW TREE OR SHRUB
- EXISTING BRUSH LINE TO REMAIN
- NEW BRUSH LINE (EDGE OF CLEARING)
- EXISTING LIGHT FIXTURE
- NEW LIGHT FIXTURE
- EXISTING SIGN
- NEW SIGN
- EXISTING UTILITY POLE
- EXISTING FENCE
- NEW FENCE
- EXISTING EDGE OF PAVEMENT
- NEW EDGE OF PAVEMENT
- EXISTING CURB
- NEW CURB (6")
- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF ROAD
- NEW CONCRETE AREAS
- EXISTING CONCRETE AREAS
- NEW LAWN AREAS



LANDSCAPE	REQUIRED	PROVIDED
GREEN SPACE	12%	30%

PLANT USE: NEW PLANT MATERIAL						
KEY	NO.	BOTANICAL NAME	COMMON NAME	SIZE	CONDIT.	REMARKS
TREES						
GT	3	GLEITSIA TRIACANTHOS VAR. INTERMUS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	21" TO 3" CAL.	B.B.	SPECIMEN SPECIES
WR	6	MALUS 'HARGREAV'	HARVEST GOLD CRAB APPLE	21" TO 3" CAL.	B.B.	SPECIMEN SPECIES
WR	17	MALUS 'REZAN'	REZORCE CRABAPPLE	21" TO 3" CAL.	B.B.	SPECIMEN SPECIES
SIS	9	SYCOBA PECTOLATA 'IVORY SILK'	IVORY SILK TREE LILAC	21" TO 3" CAL.	B.B.	SPECIMEN SPECIES
PP	1	PIKEA PAUSSENS 'GLAUKA'	BLUE COLORADO SPRUCE	6"-0" INT. MIN.	B.B.	SPECIMEN SPECIES
TO	127	THUJA OCCIDENTALIS 'NIGRA'	BLACK CEDAR	6"-0" INT. MIN.	B.B.	SPECIMEN SPECIES PLANT 2'-6" O.C. PLANTS TO FORM HEDGE AS SHOWN
SHRUBS/GRASSES/SEDGES						
BB	57	BUONVIVUS ALATUS COMPACTA	DWARF BURNING BUSH	2 GAL. POT MIN.	POTTED	PLANT 3'-0" O.C. PLANT AS INDICATED
JS	40	JUNIPERUS SAEBIA 'BUFFALO'	BUFFALO JUNIPER	2 GAL. POT MIN.	POTTED	PLANT 3'-0" O.C. PLANT AS INDICATED
CD	157	COTONEASTER DAUMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	2 GAL. POT MIN.	POTTED	PLANT 3'-6" O.C. PLANT AS INDICATED
BHM	9	LEX X MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	2 GAL. POT MIN.	POTTED	PLANT 3'-0" O.C. PLANTS TO FORM HEDGE & OR IN MASSING AS SHOWN. PLANT 1 MALE HOLLY FOR EVERY 6 FEMALE PLANTS
INF	40	LEX X MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	2 GAL. POT MIN.	POTTED	PLANT 3'-0" O.C. PLANTS TO FORM HEDGE & OR IN MASSING AS SHOWN
RR	107	ROSA RUGOSA	JAPANESE ROSE	2 GAL. POT MIN.	POTTED	PLANT 3'-0" O.C. PLANT IN MASSING AS SHOWN
CG	127	CAREX GRAYI	NORWICH STAR/JACE SEDGE	1 GAL. POT MIN.	POTTED	PLANT 2'-6" O.C. PLANTS TO BE STAGGER PLANTED AS SHOWN
CAN	107	CALAMAGROSTIS X ADUTFOJA 'KARL FOKSBERG'	FEATHER REED GRASS	1 GAL. POT MIN.	POTTED	PLANT 2'-8" O.C. PLANT AS INDICATED
PWR	161	PANICUM VIRGATUM 'REITERAUM'	RED SWITCH GRASS	1 GAL. POT MIN.	POTTED	PLANT 3'-0" O.C. PLANTS TO BE STAGGER PLANTED AS SHOWN
PLB	44	POENICETUM ALPICOLOIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL. POT MIN.	POTTED	PLANT 2'-4" O.C. PLANT AS INDICATED
FEB	80	FESTUCA GLAUKA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE GRASS	1 GAL. POT MIN.	POTTED	PLANT 2'-0" O.C. PLANT AS INDICATED
HSD	23	HENYOCALIS 'STELLA O DRO'	STELLA D'ORO DAYLILY	1 GAL. POT MIN.	POTTED	PLANT 2'-0" O.C. PLANT AS INDICATED

PROPOSED 4 STORY HOTEL
371 ELMIRA ROAD
ITHACA, NEW YORK, 14850

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ISSUED FOR SEER / SITE PLAN REV.	10/15/13
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SITE LANDSCAPE PLAN

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DRAWN BY: OST
CHECKED BY: AVT
JOB # 11-288

SHEET
C-4.0

WARNING: IT IS A VIOLATION OF SECTION 2020, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY, PLANS, SPECIFICATIONS, OR REPORTS TO WHICH THE SEAL OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER HAS BEEN APPLIED.

- LEGEND
- △ - COMPUTED POINT
 - - IRON PIPE FOUND
 - - IRON PIPE FOUND UNLESS NOTED
 - ⊕ - PIN SET WITH CAP
 - ⊙ - UTILITY POLE
 - ⊠ - FENCE CORNER POST

REFERENCE MAPS CITED

- 1) SURVEY MAP 371 ELMIRA ROAD DATED OCT. 14, 2010 BY LARRY PARRON, L.S.
- 2) ACQUISITION FOR EDGAR NEIT DATED FEB. 1, 2011 BY MICHAEL PARRON, L.S.
- 3) 371-377 ELMIRA ROAD, LOTS OF JEFFREY WORKS, DATED 8/29/2002 AND AMENDED 10/28/2004 BY J.C. MILLER P.E.

NOTES:

- 1) DUTY OF ELECTRICIAN IS APPROX. 1000 PER YEAR REFERENCE ONLY
- 2) GROUND SHOWN HEREON BASED ON VISUAL EVIDENCE OF BERRY SURVEY TAKEN ON THE SURFACE AT DATE OF THIS SURVEY AND FIELD MAPS PROVIDED BY THE CITY OF CHICAGO. MARK ALL UTILITIES MARK TO BE OPEN AND/OR CONSTRUCTION

- LEGEND
- SANITARY SEWER MAIN
 - WATER MAIN
 - GAS MAIN
 - OVERHEAD UTILITIES
 - STORM SEWER MAIN
 - UNDERGROUND TELEPHONE
 - MANHOLE
 - CATCH BASIN
 - WATER VALVE
 - GAS VALVE
 - FIRE HYDRANT
 - UTILITY POLE
 - LIGHT POLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SIGN

INCLUDE A SUBJECT TO ADJUST BY PROCESS AND CONSIST SHOWN BY COMMON WITH OTHERS

FIELD TO CENTERLINE OF ROAD, ENERGY & PREVIOUS ALL EXISTING PUBLIC ROAD & UTILITIES ADJUST TO WAYS

NOTE: THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE PROVIDED, SUBJECT TO ANY STATE OF FACT THAT AN ABSTRACT OF TITLE MAY SHOW.

