

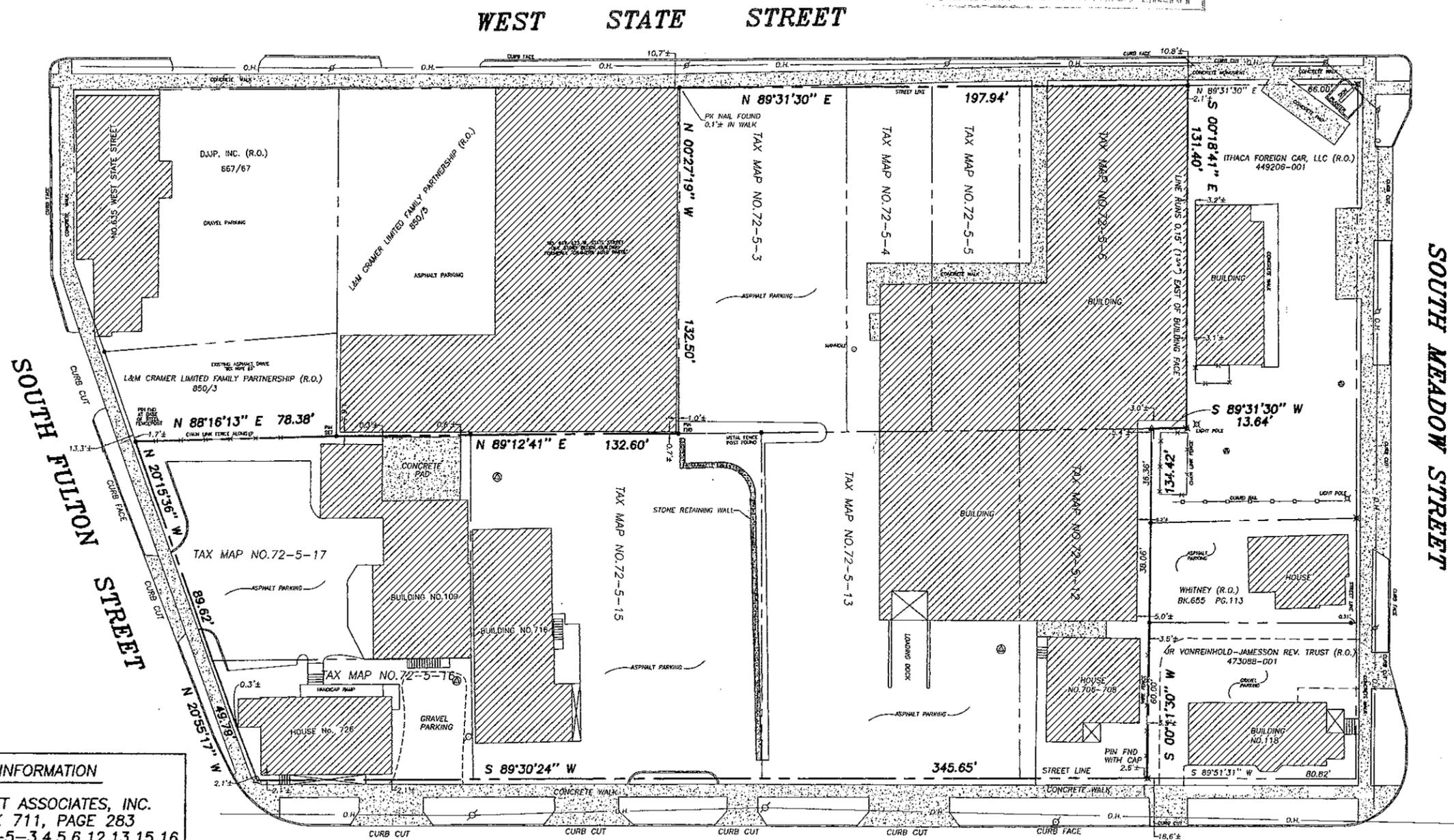
NOTES

- 1) REFERENCE IS MADE TO A MAP TITLED "SURVEY MAP LANDS OF HI-SPEED CHECK WEISHER CO." DATED OCTOBER, 1970 BY THOMAS G. MILLER, ENGINEER AND SURVEYOR, AND FILED IN THE TOMPKINS COUNTY CLERKS OFFICE.
- 2) REFERENCE IS ALSO MADE TO A MAP TITLED "SURVEY MAP OF 635 WEST STATE STREET" DATED OCTOBER 3, 1988 BY KENNETH A. BAKER L.S., AND FILED IN THE TOMPKINS COUNTY CLERKS OFFICE.
- 3) ASPHALT DRIVE APPEARS TO BE USED JOINTLY FOR ACCESS BY BOTH "CRAMER" AND "DJUP INC." PARCELS.
- 4) SURVEY MAP NO.108-112 SOUTH MEADOW STREET DATED 10/28/2003 BY T.G. MILLER, P.C.
- 5) SURVEY MAP NO.118 SOUTH MEADOW STREET DATED 11/14/2005 BY T.G. MILLER, P.C.

RECORDED
 JUN 14 2007
 DEPARTMENT OF
 PLANNING & DEVELOPMENT

△ - COMPUTED POINT
 ● - IRON PIPE FOUND, UNLESS NOTED
 ⊙ - MONITORING WELL

FILE COPY



TITLE INFORMATION
 GREEN STREET ASSOCIATES, INC.
 DEED BOOK 711, PAGE 283
 TAX MAP NO.72-5-3,4,5,6,12,13,15,16
 DEED BOOK 898, PAGE 333
 TAX MAP NO.72-5-17
 TOTAL AREA=1.733 ACRES

GREEN STREET ASSOCIATES, INC.
 HOLDSWORTH & FEENEY, LLP
 FINGERLAKES BEVERAGE CENTER, LLC
 HOLMBERG, CALBRAITH, VAN HOUTEN & MILLER
 THE CROSSMORE LAW OFFICE
 MONROE TITLE INSURANCE CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS
 CFCU COMMUNITY CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS

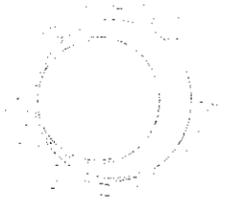
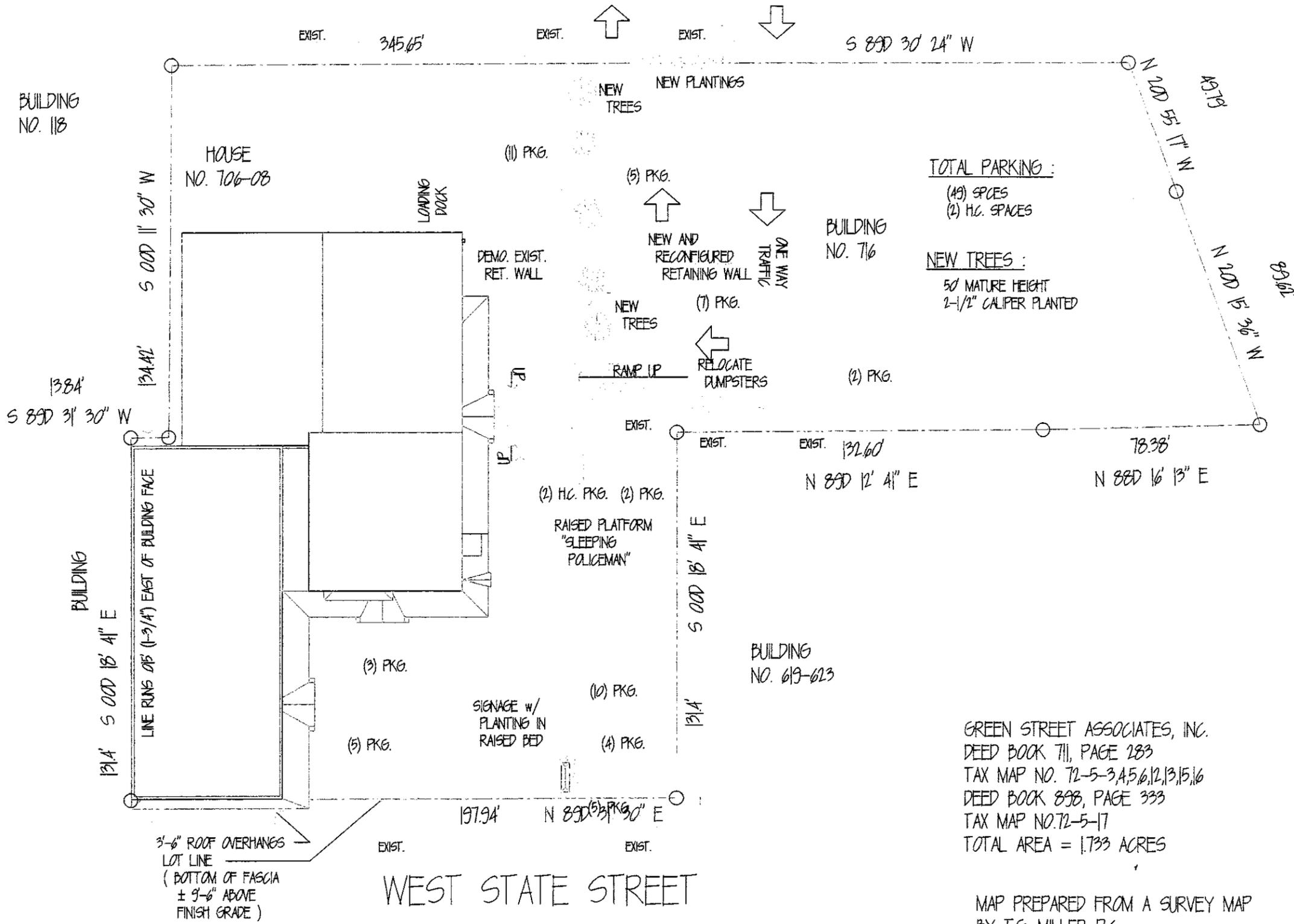
CERTIFICATION
 I hereby certify to that I am a licensed land surveyor, New York State License No.049269, and that this map correctly delineates an actual survey on the ground made by me or under my direct supervision and that I found no visible encroachments either way across property lines except as shown hereon.
 SIGNED: *M.G. Miller* DATED: 8/23/07

 T. G. MILLER P.C. ENGINEERS AND SURVEYORS 203 NORTH AURORA STREET ITHACA, NEW YORK 14850 TEL. (607)272-6477	TITLE: SURVEY MAP SHOWING LANDS OF GREEN STREET ASSOCIATES, INC. CITY OF ITHACA, TOMPKINS COUNTY, NEW YORK	REVISED _____ _____ _____	 ALLEN T. FULTON LICENSED LAND SURVEYOR NO. 049269
	DATE: 8/23/2007	SCALE: 1"=30'	

WARNING
 ALTERATION OF THIS MAP NOT
 CONFORMING TO SECTION 7209,
 SUBSECTION 2, NEW YORK STATE
 EDUCATION LAW, ARE PROHIBITED
 BY LAW. ALL CERTIFICATIONS
 HEREON ARE VALID FOR THIS MAP
 AND COPIES THEREOF ONLY IF SAID
 MAP OR COPIES BEAR THE APPROSSION
 SEAL OF THE LICENSED LAND SURVEYOR
 WHOSE SIGNATURE APPEARS HEREON.

WEST GREEN STREET

SOUTH MEADOW STREET



06-26-13

LOT MAP GREEN ST. ASSOC

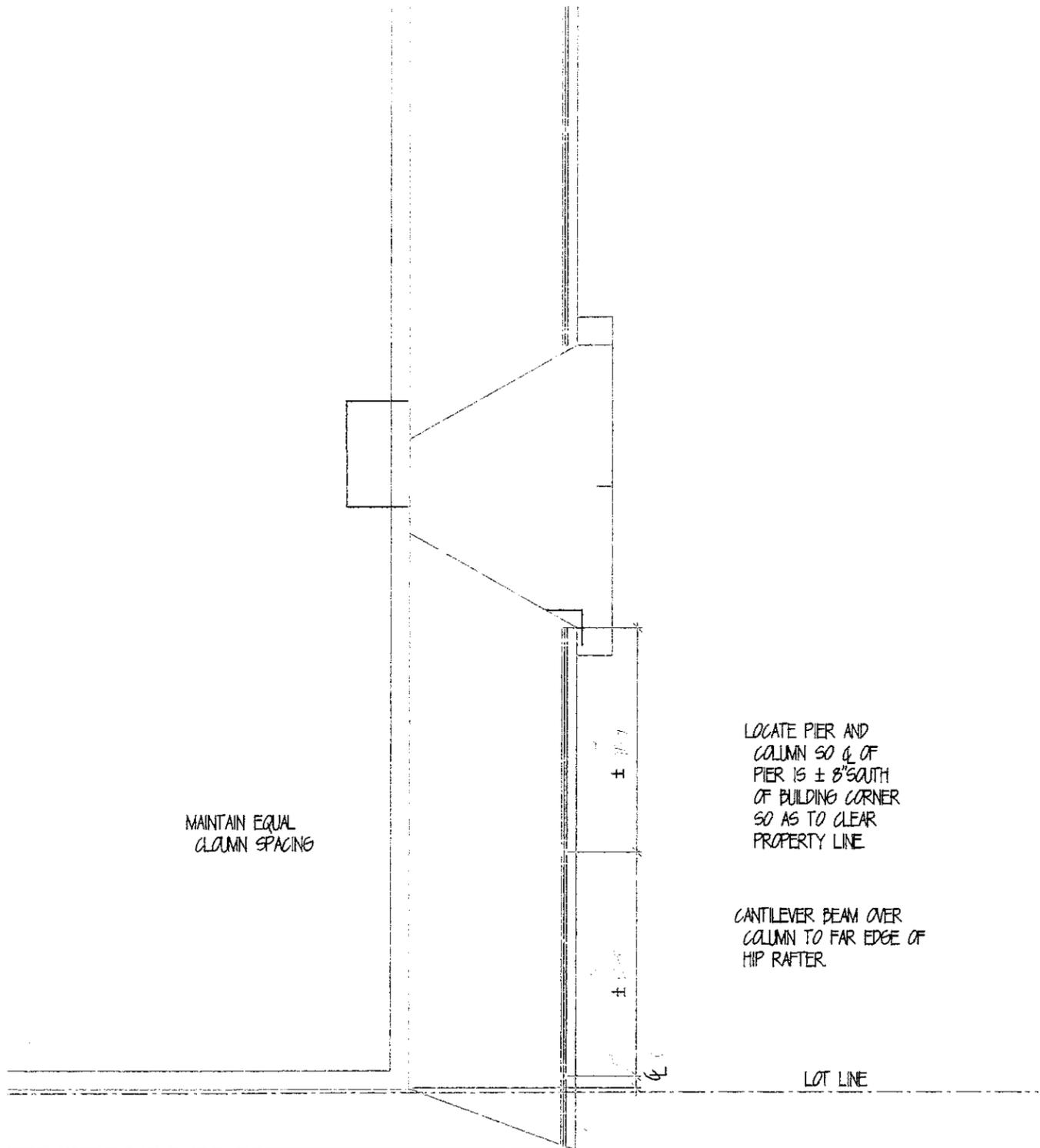
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DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

LOT MAP - 5/25/13
REVISED - 6/26/13

GREEN STREET ASSOCIATES, INC.
DEED BOOK 711, PAGE 283
TAX MAP NO. 72-5-3,4,5,6,12,13,15,16
DEED BOOK 898, PAGE 333
TAX MAP NO. 72-5-17
TOTAL AREA = 1.733 ACRES

MAP PREPARED FROM A SURVEY MAP
BY T.G. MILLER P.C.
DATED 8/23/07



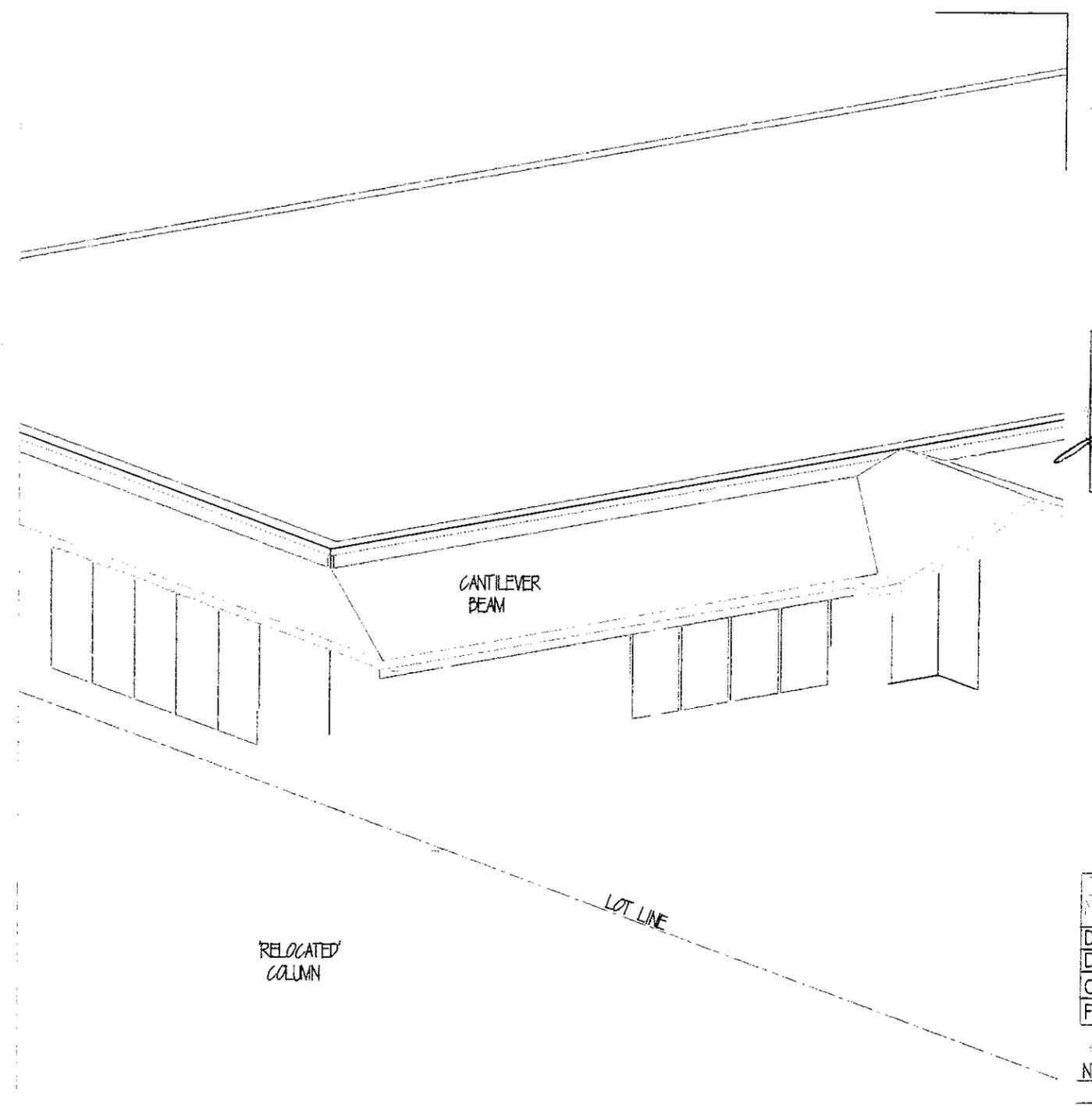


MAINTAIN EQUAL COLUMN SPACING

LOCATE PIER AND COLUMN SO Q. OF PIER IS ± 8' SOUTH OF BUILDING CORNER SO AS TO CLEAR PROPERTY LINE

CANTILEVER BEAM OVER COLUMN TO FAR EDGE OF HIP RAFTER

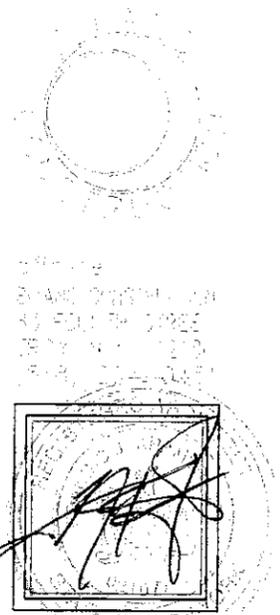
LOT LINE



CANTILEVER BEAM

RELOCATED COLUMN

LOT LINE



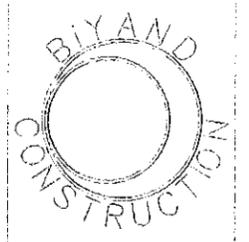
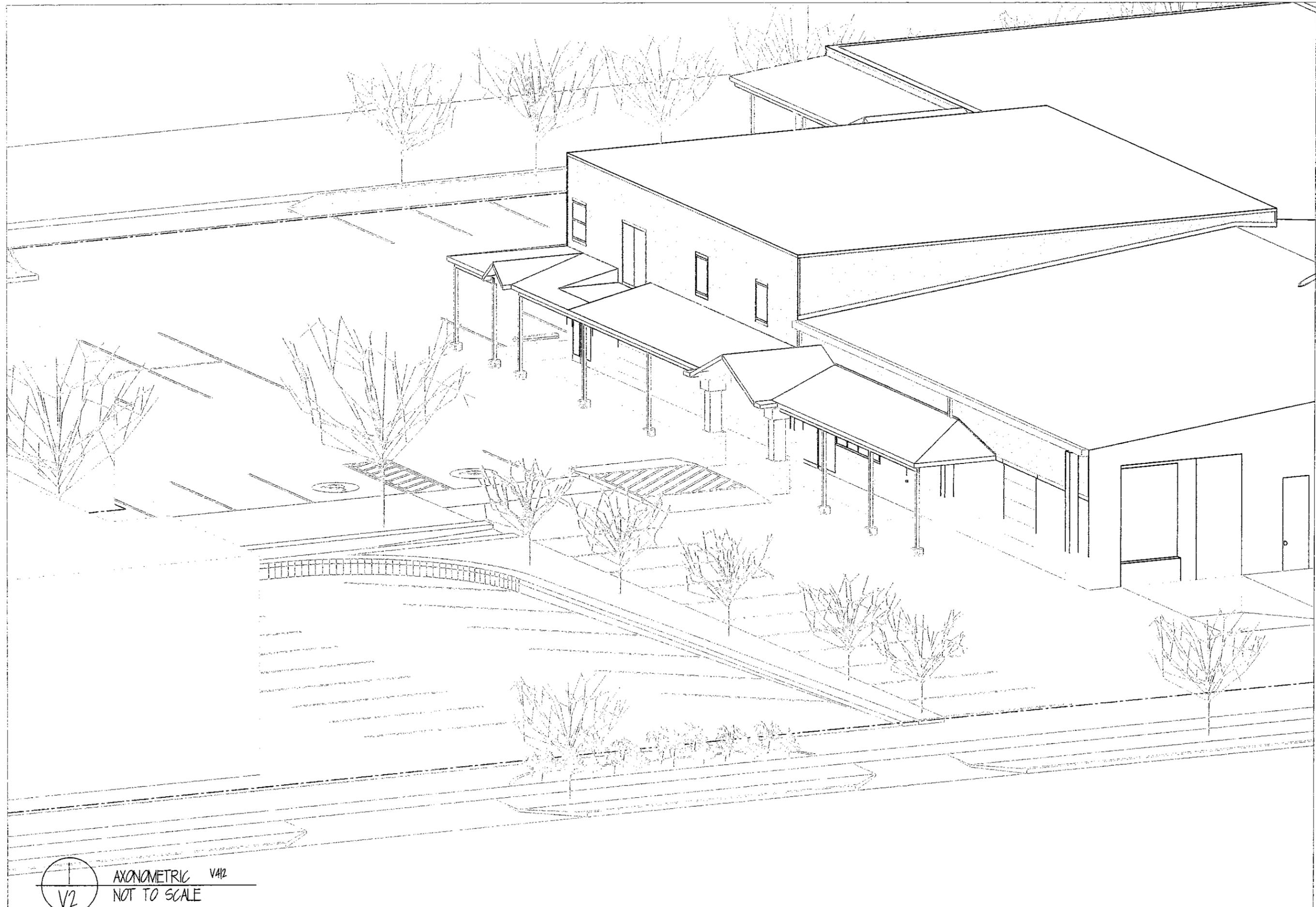
RELOCATED COLUMN
DETAILS
06-26-13

DATE: March 1, 2013	VI
DWG BY:	
CHK BY: ssf	
FILE: BEVID.dwg	
REVISIONS	
NEW SHEET - 6/26/13	

PLAN DETAIL
SCALE: 1/8" = 1'-0"

2
VI
AXONOMETRIC PEIb
NOT TO SCALE

BEVID, INC. 1000 W. 10th St. Suite 1000, Oklahoma City, Oklahoma 73106
Tel: 405.234.1111 Fax: 405.234.1112
www.bevid.com



sfinkle
 BYAND CONSTRUCTION
 83 FOURTH STREET
 TROY, N.Y. 12180
 (518) 274-0451



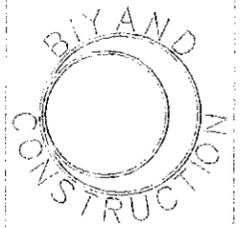
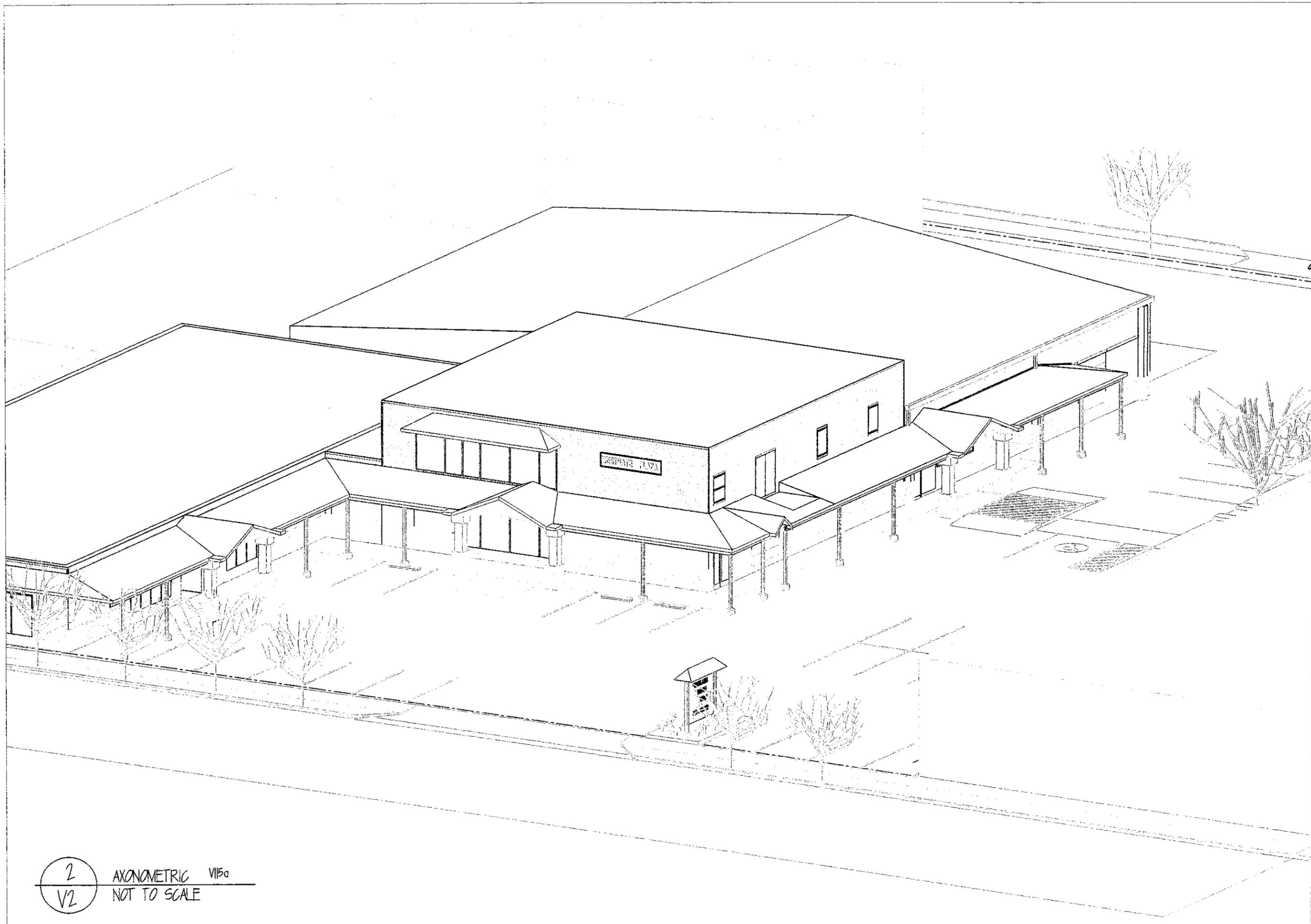
06.26.13

AXONOMETRIC
 VIEWS

SHEET NUMBER	V2
DATE:	March 18, 2013
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CHK BY:	ssf
FILE:	BEVID.dwg
REVISIONS	

TOW FRITZ / BENCHMARK CONST.
 4224 MCINTYRE RD.
 TRUMANSBURG, NEW YORK 14886
 RENOVATIONS TO 605 WEST STATE ST.
 MR. PAT MOE
 605 WEST STATE ST. ITHACA, N.Y. 14850

V2 AXONOMETRIC V412
 NOT TO SCALE



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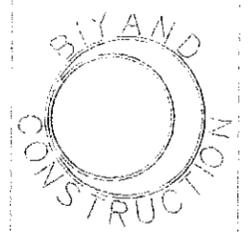
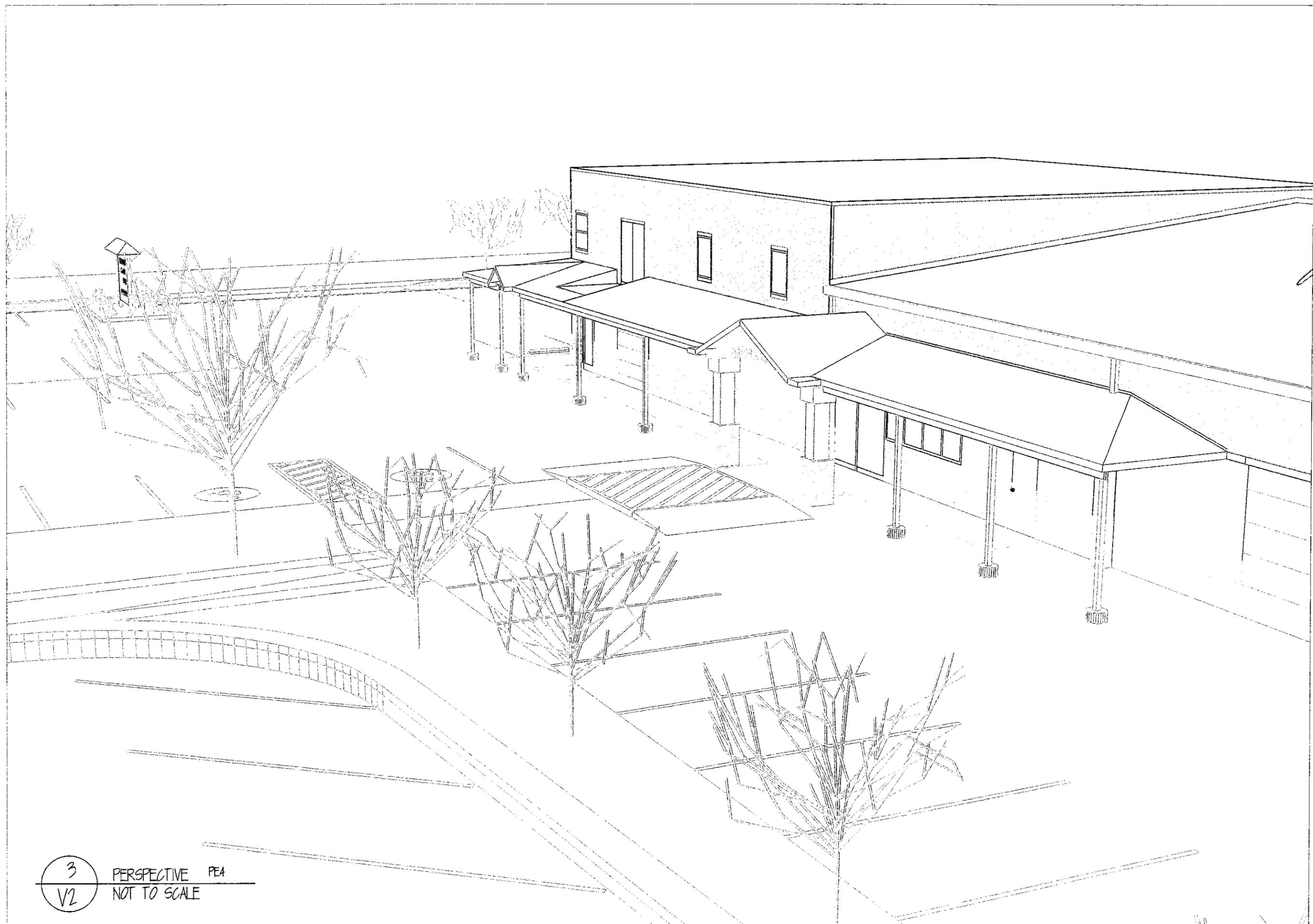
AXONOMETRIC
 VIEWS

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 DATE: March 18, 2013
 DWG BY:
 CHK BY: ssf
 FILE: BEVID.dwg

REVISIONS

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 4224 MCINTYRE RD.
 TRUMANSBURG, NEW YORK 14886
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 MR. PAT MOE
 605 WEST STATE ST., ITHACA, N.Y. 14850

2
 V2
 AXONOMETRIC V15a
 NOT TO SCALE



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 BYAND CONSTRUCTION
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 TROY, N.Y. 12180
 (518) 274-9451



06.26.13

PERSPECTIVE
 VIEW

SHEET NUMBER	V2
DATE:	March 13, 2013
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CHK BY:	ssf
FILE:	BEVID.dwg

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3
 V2 PERSPECTIVE PEA
 NOT TO SCALE

TOM FRITZ/ BENCHMARK CONST.
 4224 MCINTYRE RD.
 TRUMANSBURG, NEW YORK 14886
 RENOVATIONS TO 605 WEST STATE ST.
 MRK PAT MOE
 605 WEST STATE ST. ITHACA, N.Y. 14850

CODE ANALYSIS SUMMARY

BUILDING DATA

FOOTPRINT	18,307 SF.
UPPER LEVEL	3,135 SF.
MEZZANINE	621 SF.
PERIMETER	634 LF.
PERIMETER OF BUILDING ADJOINING A PUBLIC WAY (MIN. WIDTH 20 FT.)	533 FT.
AREA MODIFICATION (BCNYS SEC. 506)	59 %
SPRINKLER SYSTEM INCREASE (BCNYS SEC. 506.3)	100 %
BUILDING HEIGHT - (ACTUAL)	13'-0" 1st PARAPET 22'-0" 2nd PARAPET
CONSTRUCTION TYPE	2B (II B)
OCCUPANCY	MIXED - B, M
CHANGE IN OCCUPANCY	S TO M
ALLOWABLE HEIGHT & BLDG. AREAS B - BUSINESS	4 STORY - 55' 13,000 SF.
M - MERCANTILE	4 STORY - 55' 12,500 SF.
ALLOWABLE BLDG. AREAS AFTER MODIFICATIONS	B = 59,570 SF. M = 32,375 SF.

BUILDING TENANANCIES / OCCUPANCIES

TAG	OCC.	SF.	STATUS	NOTES
LANDLORD / SERVICE	N/A	940 SF.	EXIST. TO REMAIN	
TENANT # 1 FED-EX	B BUSINESS	6870 SF.	EXIST. TO REMAIN	1st FL : NORTH EAST PORTION
TENANT # 2 VARIOUS	B BUSINESS	3,135 SF.	EXIST. TO REMAIN	1st FL : WEST CENTRAL PORTION
TENANT # 3 FINGERLAKES BEVERAGE	M MERCANTILE	7,984 SF.	RENOVATION	1st & 2nd FL : CHANGE FROM S-I OCC. TO M-MERC.
TENANT # 4	M BUSINESS	3,135 SF.	EXIST. TO REMAIN	2nd FL : WEST CENTRAL PORTION

EXISTING BUILDING CODE N Y S 2010.
912.1.2 CHANGE IN OCCUPANCY WITH SEPARATION- ONLY CHANGED AREA SHALL COMPLY WITH CHAPTERS 8 and 9.

TAG	SF.	FLOOR AREA IN SF./OCC.	NUMBER OF OCCUPANTS	NOTES
LANDLORD / SERVICE	940	300 GROSS	4	EXIST. TO REMAIN OUTSIDE SCOPE OF WORK
TENANT # 1 FED-EX	6870	100 GROSS	69	"
TENANT # 2 VARIOUS	3,145	100 GROSS	32	"
TENANT # 3 FINGERLAKES BEVERAGE	7,984	30 GROSS	350	MIN. NO. EXITS : 2
TENANT # 4	3,135	30 GROSS	105	MIN. NO. EXITS : 2 (TABLE 1014-I)

MEANS OF EGRESS

WIDTH CAPACITY

TENANT #3 : (TABLE 1004.6) 371 OCCUPANTS

MINIMUM NO. OF EXITS (TABLE 1018.1) : 2

MINIMUM WIDTH OF EXITS (TABLE 1005.1) : 0.15 INCHES PER OCCUPANT
(WITH SPRINKLER SYSTEM)
 $371/2 = 185.5 \times 0.15 = 27.825$ " MINIMUM

BUT NOT LESS THAN SPECIFIED ELSEWHERE : 32 " CLEAR WIDTH (SECT. 1008.1.1) (3/8 " NOMINAL)

912.1.3 RELATIVE DEGREE OF HAZARD

TABLE 912.5 - HEIGHTS and AREAS HAZARD CATEGORIES
S TO M - NO CHANGE IN HAZARD - HEIGHT AND AREA OF EXISTING BUILDING DEEMED TO BE ACCEPTABLE.

TABLE 912.6 - EXPOSURE OF EXTERIOR WALL HAZARD CATEGORIES
S TO M NO CHANGE IN HAZARD - EXISTING EXTERIOR WALLS,

TABLE 912.4 - MEANS OF EGRESS HAZARD CATEGORIES

M = 3, S = 4 CHANGE TO HIGHER HAZARD
912.4.1 - MEANS OF EGRESS SHALL COMPLY W/ B.C.N.Y.S. CHAPTER 10 EXCEPT EXISTING STAIRS W/ GUARDS AND HANDRAILS IN COMPLIANCE W/ E.B.C.N.Y.S. CHAPTER 7 ARE PERMITTED TO REMAIN.
P.C.N.Y.S. 1012 EX. 2 - EXISTING BUILDINGS - COMPLY W/ E.B.C.N.Y.S.
910.1 - INCREASED DEMAND (S TO M) NEW OCCUPANCY SHALL COMPLY WITH INTENT OF P.C.N.Y.S.
TABLE 403.1 - (1) FIXTURE EACH + (1) LAVATORY EACH. EMPLOYEE FACILITIES MAY BE COMBINED.

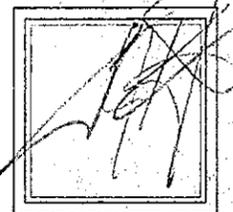
CODE : E.B.C.N.Y.S. (EXISTING)
701.1 LEVEL 2 ALTERATIONS - (AS DESCRIBED IN SECTION 404 : RECONFIGURE SPACE, ADD OR OMIT ANY DOOR OR WINDOW, RECONFIGURE OR EXTEND ANY SYSTEM, INSTALL EQUIPMENT)
701.3 - ALL NEW CONSTRUCTION ELEMENTS/COMPONENTS/SYSTEMS SHALL COMPLY WITH B.C.N.Y.S.

704 - FIRE PROTECTION
704.4 - FIRE ALARM AND DETECTION : INSTALL IN ACCORDANCE WITH THIS CODE AND NFPA 72.

NFPA 72 (2013) SECTION 14 - RETROACTIVITY
14.1 UNLESS OTHERWISE SPECIFIED, IT IS NOT INTENDED THAT THE PROVISIONS OF THIS DOCUMENT BE APPLIED TO FACILITIES, EQUIPMENT, STRUCTURES OR INSTALLATIONS THAT WERE EXISTING OR APPROVED FOR CONSTRUCTION OR INSTALLATION PRIOR TO THE EFFECTIVE DATE OF THIS DOCUMENT.



Brian J. Bivona
Professional Engineer
No. 14880
State of New York
(518) 274-0245

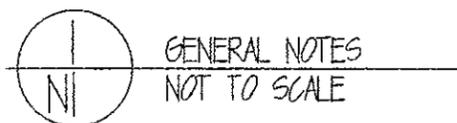


03-27-13

GENERAL NOTES

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DATE	March 18, 2013
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FILE:	BEVID.dwg

REVISIONS



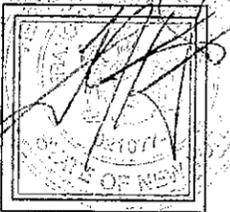
STATE OF NEW YORK
COUNTY OF ALBANY
PLANNING BOARD
15 STATE ST.
ALBANY, NY 12207
518-486-4444

ITHACA, NEW YORK
TOMPKINS COUNTY

RESIDENTIAL CLIMATE ZONES				
WINTER DRY BULB TEMPERATURE	SUMMER DRY BULB TEMPERATURE	COINCIDENT WET BULB TEMPERATURE	HEATING DEGREE DAYS	CLIMATE ZONE
-2°F	82°F	69°F	7279	6



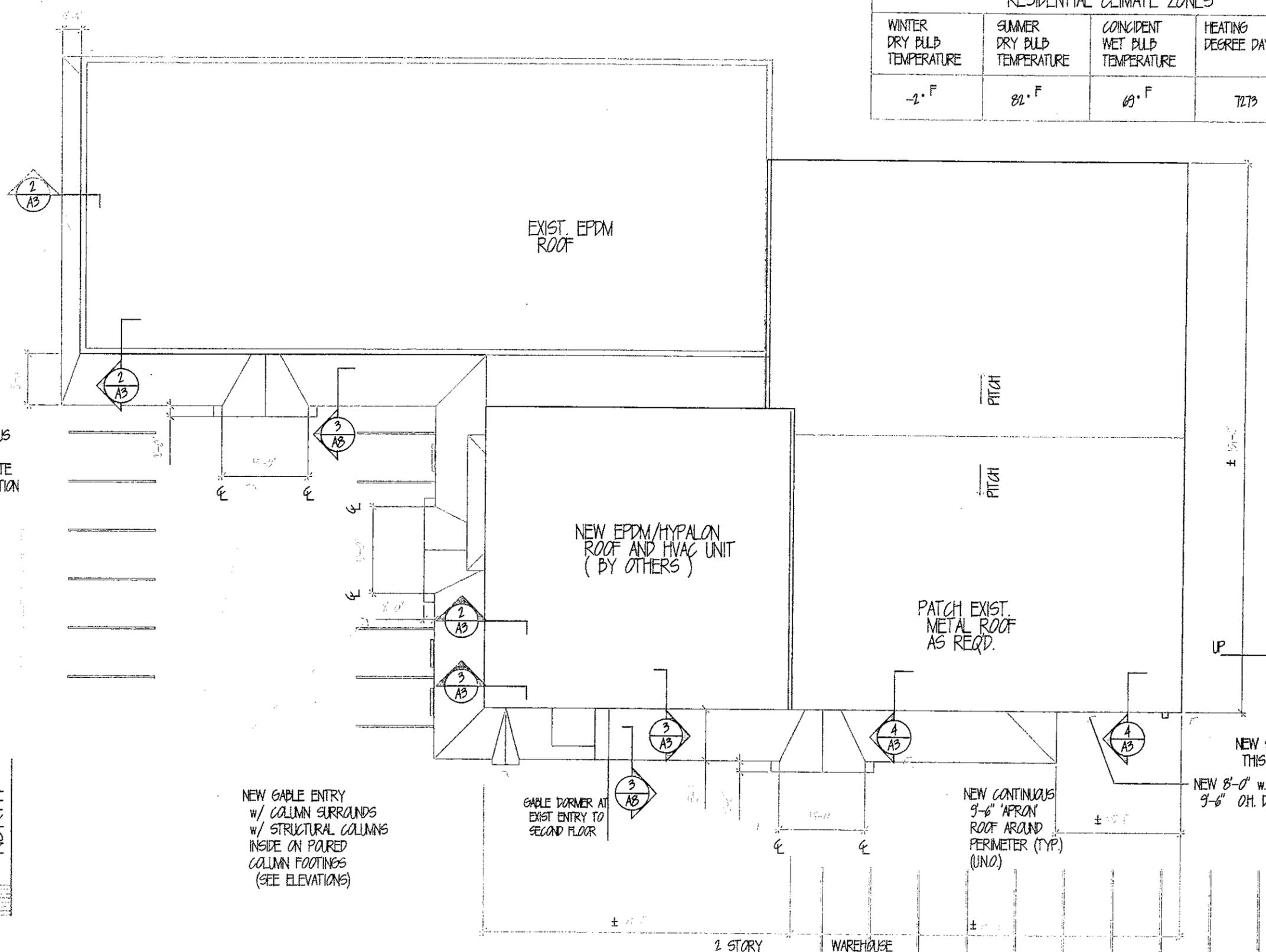
BRAND CONSTRUCTION
83 FOURTH STREET
TROY, NY 12182
(518) 262-1111



03.27.13

WEST STATE STREET

NEW SIDING STOPS
THIS CORNER



SITE PLAN

SHEET NUMBER	S
DATE:	March 18, 2013
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NEW SIDING STOPS
THIS CORNER

NEW 8'-0" W. X
9'-6" O.H. DOOR

NEW CONTINUOUS
3'-6" APRON
ROOF AROUND
PERIMETER (TYP.)
(UNO.)

GABLE DORMER AT
EXIST ENTRY TO
SECOND FLOOR

NEW GABLE ENTRY
W/ COLUMN SURROUNDS
W/ STRUCTURAL COLUMNS
INSIDE ON PAIRED
COLUMN FOOTINGS
(SEE ELEVATIONS)

NEW CONTINUOUS
3'-6" APRON
ROOF AT STATE
STREET ELEVATION

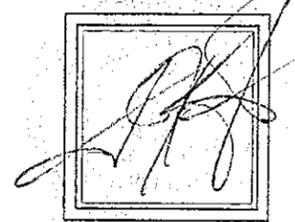
NORTH

SITE PLAN
SCALE: 1" = 20'-0"

BRAND CONSTRUCTION
83 FOURTH STREET
TROY, NY 12182
(518) 262-1111



Office
 BRYAN CONSTRUCTION
 43 FOURTH STREET
 TROY, N.Y. 12180
 (518) 274-0451



03.27.13

FIRST FLOOR
 DEMO. PLAN

SHEET NUMBER	AI
DATE:	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

REVISIONS

NO.	DESCRIPTION	DATE

EXISTING TO REMAIN

EXISTING UPPER WALL TO REMAIN

EXISTING SPRINKLER SYSTEM TO REMAIN

EXISTING COLUMN TO REMAIN

REMOVE HVAC ENCLOSURE AND EQUIPT.

REMOVE ENTIRE MEZZANINE STRUCTURE ABOVE TO CEILING

REMOVE HALL & C.G. ENTIRELY

REMOVE EXT. DOOR

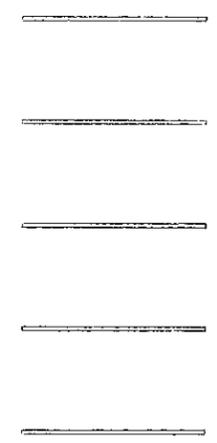
EXISTING TO REMAIN

MAINTAIN 2 HR. FIRE SEPARATION w/ ANY WORK

REMOVE WALLS AND C.G.S. AS SHOWN IN ENTIRE AREA

REMOVE WALLS AS SHOWN (TYPICAL)

EXIST. EGRESS DOOR TO REMAIN. (MAY NEED TO BE RESIZED)



KEY

EXISTING WALLS

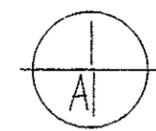
NEW WALLS

*ALL EXT. WALLS SHALL BE INSULATED TO R-20

*ALL CEILINGS TO BE INSULATED TO R-19/30 AS PRACTICAL (SEE A5)

*ALL FLOORS OVER BASEMENT UTILITY AREAS TO BE INSULATED TO R-30 (ALT. TO INSULATING WALLS - SEE A5)

NORTH



FIRST DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"

EXIST. SIDEWALK

PROPOSED NEW SIDEWALK(S)

REMOVE EXTERIOR WALL & DOOR AS REQ'D. FOR NEW OH. DOOR

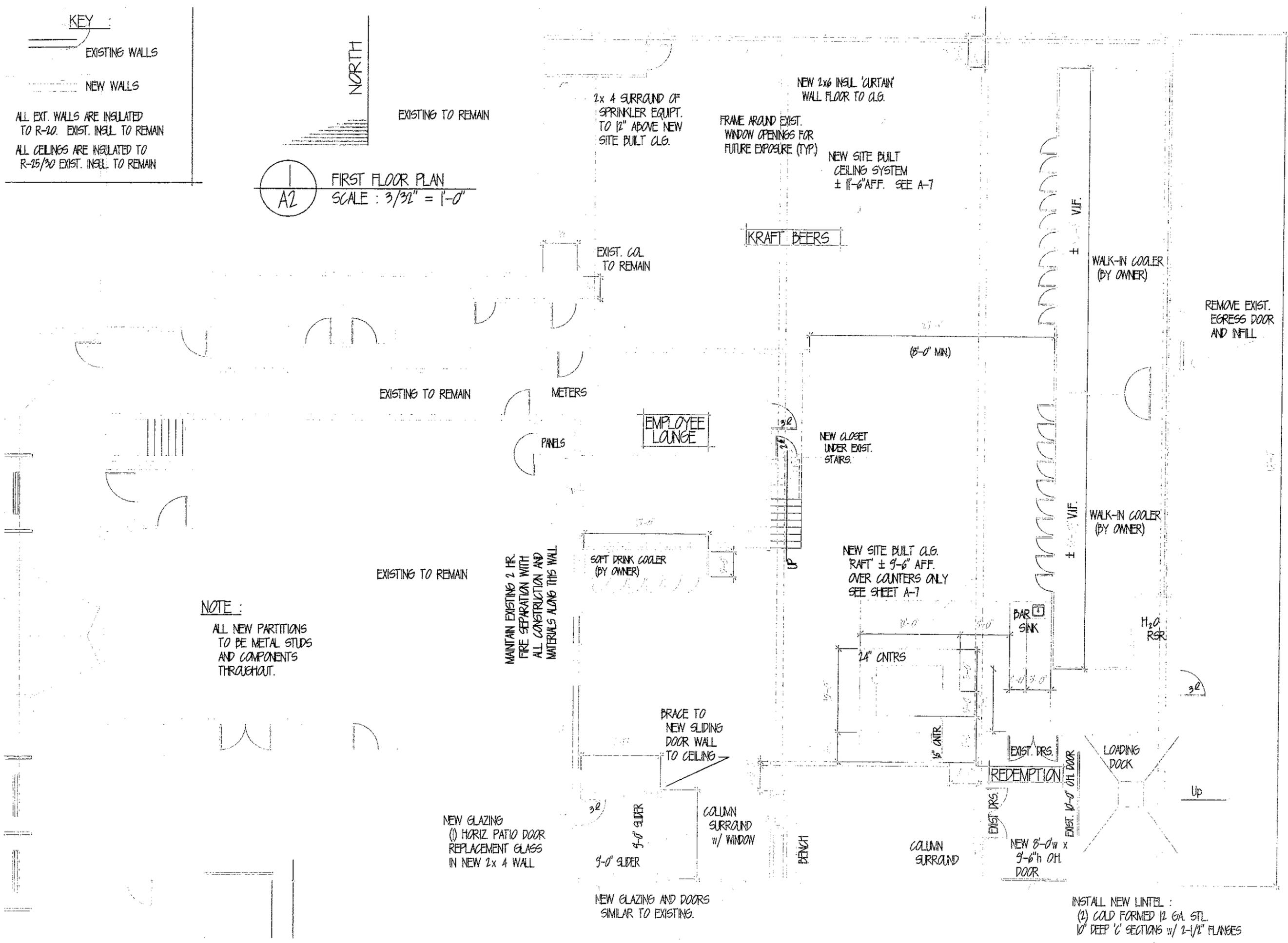
Up

KEY
 ——— EXISTING WALLS
 - - - - NEW WALLS

ALL EXT. WALLS ARE INSULATED TO R-20. EXIST. INSUL TO REMAIN
 ALL CEILINGS ARE INSULATED TO R-25/30 EXIST. INSUL TO REMAIN

FIRST FLOOR PLAN
 SCALE: 3/32" = 1'-0"

NORTH



NOTE:
 ALL NEW PARTITIONS TO BE METAL STUDS AND COMPONENTS THROUGHOUT.

MAINTAIN EXISTING 2 HR. FIRE SEPARATION WITH ALL CONSTRUCTION AND MATERIALS ALONG THIS WALL

NEW GLAZING (1) HORIZ PATIO DOOR REPLACEMENT GLASS IN NEW 2x4 WALL

NEW GLAZING AND DOORS SIMILAR TO EXISTING.

INSTALL NEW LINTEL:
 (2) COLD FORMED 12 GA. STL. 10" DEEP 'C' SECTIONS W/ 2-1/2" FLANGES



sfinkle
 PRYLAND CONSTRUCTION
 83 FOURTH STREET
 TROY, N.Y. 12180
 (518) 262-1251



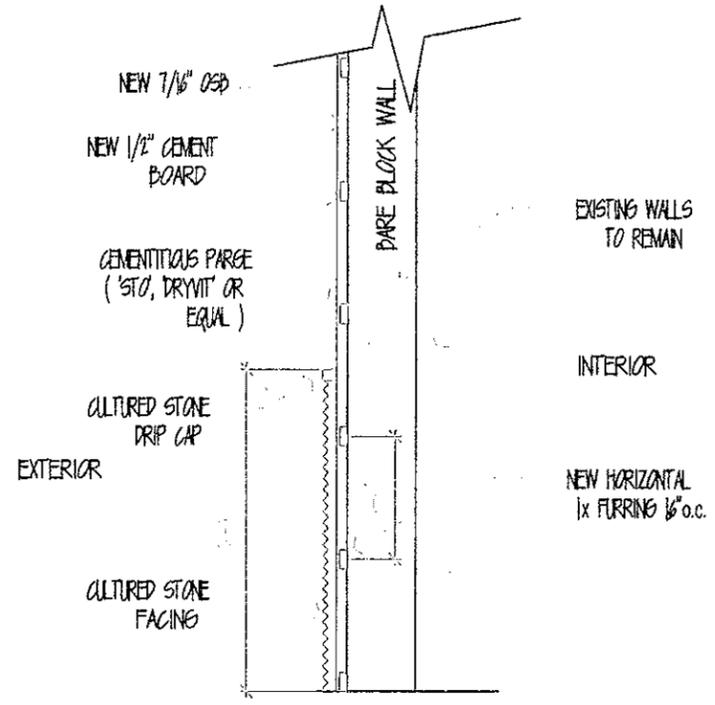
03.28.13

**FIRST FLOOR
 DETAIL PLAN**

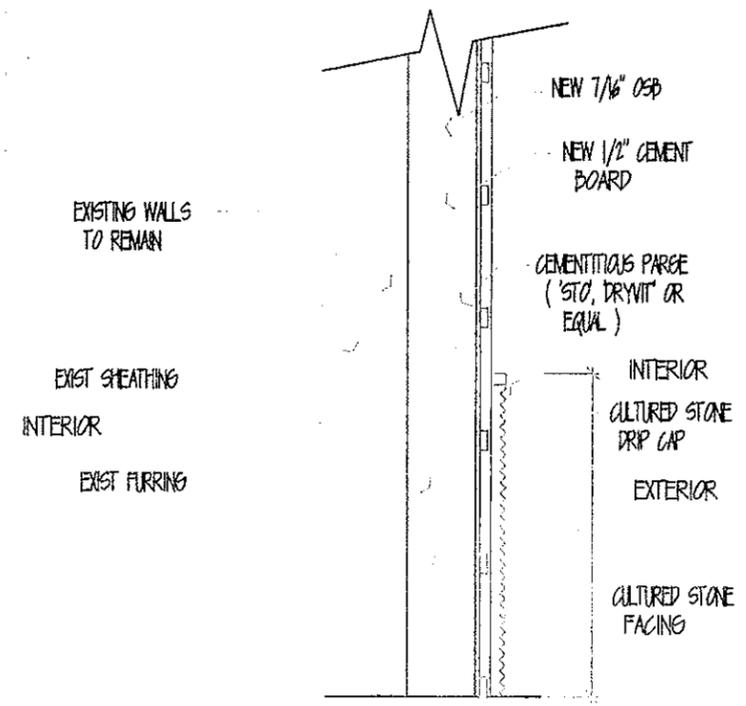
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DATE:	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

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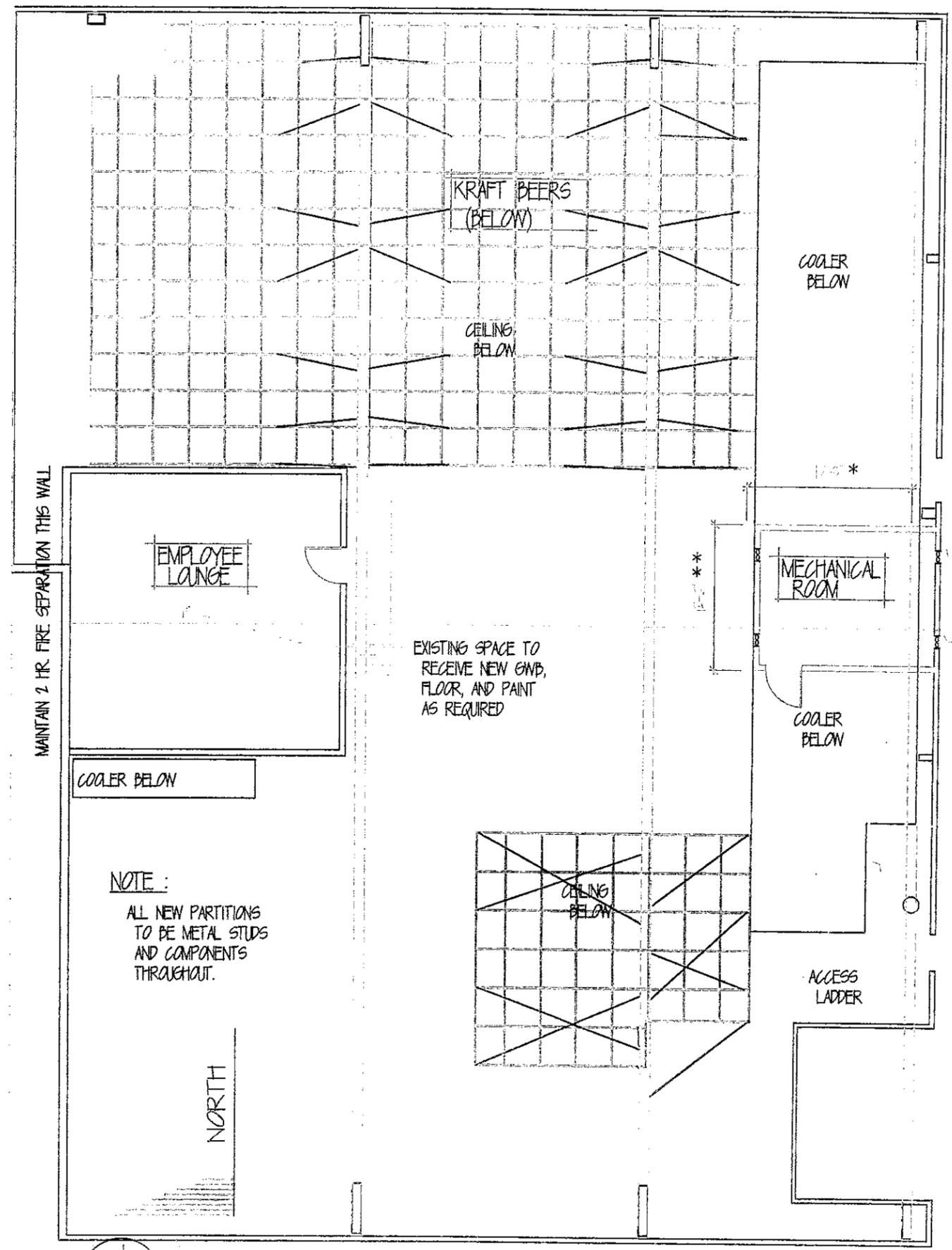
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 PROJECT: BEVID.dwg
 DRAWING: BEVID.dwg
 SHEET: BEVID.dwg
 DATE: 03/18/13
 14886
 1000 WEST STATE ST.
 TROY, NY 12180



3
 A3
 TYPICAL WALL SECTIONS
 SCALE: 1/4" = 1'-0"



2
 A3
 TYPICAL WALL SECTIONS
 SCALE: 1/4" = 1'-0"



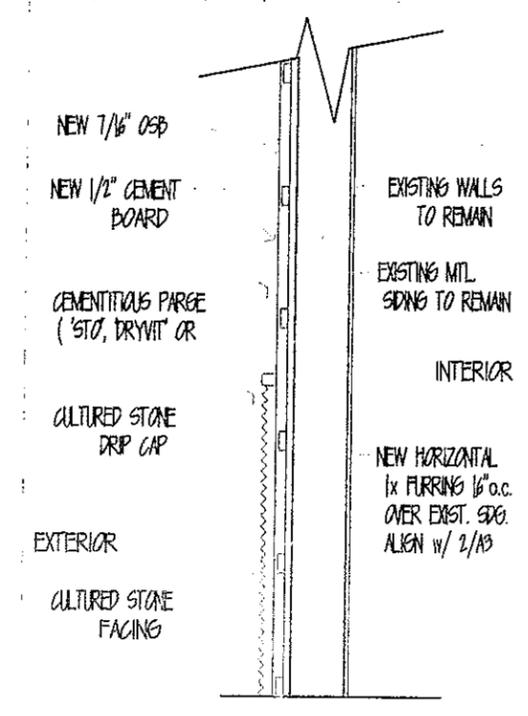
1
 A3
 SECOND/MEZZANINE FLOOR PLAN
 SCALE: 3/32" = 1'-0"

** COORDINATE SIZE OF MECH. ROOM w/ COOLER SUBCONTRACTOR CENTER ROOM AROUND ROOF RIDGE ABOVE AS POSSIBLE

* TIE FRAMING INTO EXISTING EXTERIOR WALL w/ BLOCKING

FRAME WALLS TO CEILING WALLS FRAMED ON TOP OF 3/4" PLYWOOD SHEETS 'FLOATING' ON COOLER ROOF

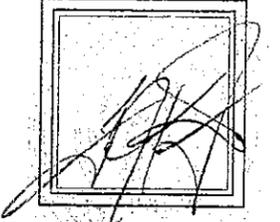
INSTALL (2) DAYTON 1HLA2 FAN/ LAURE UNITS ON EXTERIOR WALL AND OPPOSITE WALL TO NORTH.



4
 A3
 WALL SECTION
 SCALE: 1/4" = 1'-0"



Brian J. Allen
 BYAND CONSTRUCTION
 83 FOURTH STREET
 TROY, N.J. 07139
 (518) 274-0151

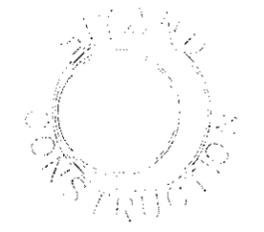


SECOND FLOOR / MEZZANINE PLAN 03.23.13

SHEET NUMBER	A3
DATE	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

REVISIONS

BYAND CONSTRUCTION
 83 FOURTH STREET
 TROY, NJ 07139
 (518) 274-0151



BRINKLE
BYRND CONSTRUCTION
53 FOURTH STREET
FRAY, N.Y. 12150
(518) 271-0451



03.27.13

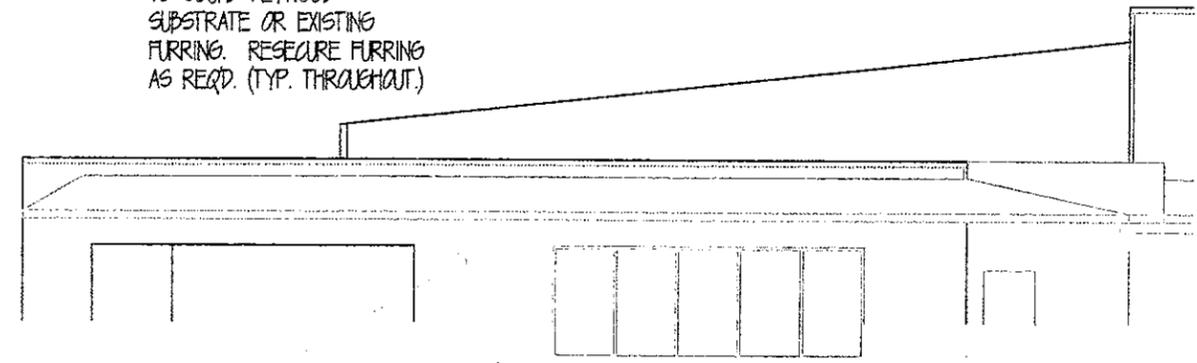
ELEVATIONS/
VIEWS

SHEET NUMBER	A4
DATE:	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

REVISIONS

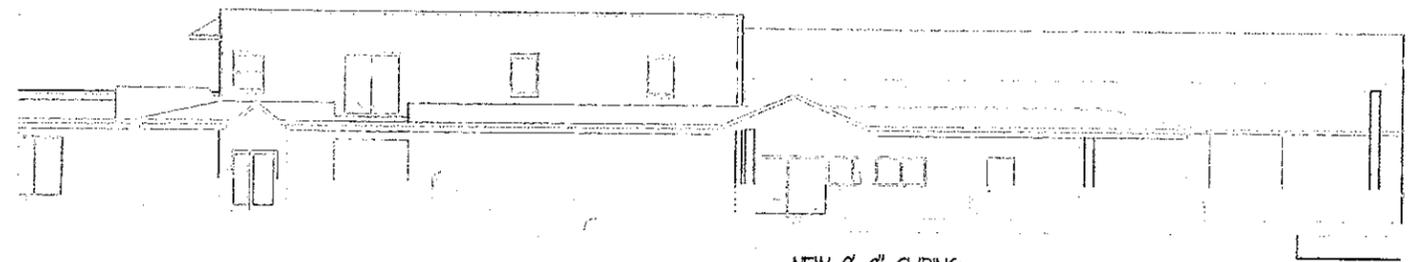
FOR THE ARCHITECT: BEYOND CONSTRUCTION
1000 WEST 10TH STREET
ALBANY, NY 12203
TEL: 518-271-0451 FAX: 518-271-0452
WWW.BEYONDCONSTRUCTION.COM

REMOVE EXISTING SIDING
TO SOUND PLYWOOD
SUBSTRATE OR EXISTING
FLOORING. RESECURE FLOORING
AS REQ'D. (TYP. THROUGHOUT)



ROOF DROP OUT
TO CLEAR EXIST.
DOORS

± 456 | 12



CEMENTITIOUS COAT OVER
NEW BACKER BOARD OVER
NEW (OR EXIST.) FLOORING
AND RIGID INSULATION TO
UNDERSIDE OF NEW ROOF
(TYPICAL)

STONE VENEER FROM
GRADE TO ± 3/8" A.F.G.
(TYPICAL)

4" STEEL COLUMNS
ON 16" Ø PAIRED
BASES TO MIN.
48" B.F.G. (TYP.)

NEW 9'-0" SLIDING
ENTRY DOOR AND
GLAZING SIMILAR
TO EXISTING.

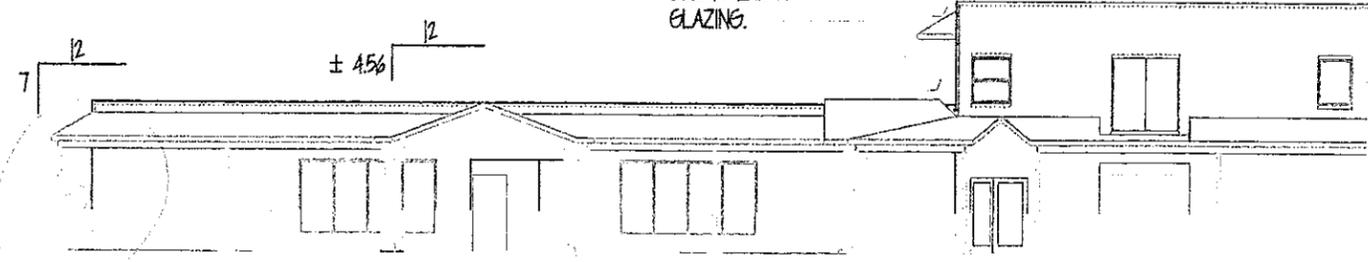
NEW 8'-0" w. x
9'-6" h. O.H. DOOR

2 NORTH ELEVATION/ FED EX
SCALE : 3/32" = 1'-0"

3 WEST ELEVATION/ FINGER LAKES
SCALE : 1/20" = 1'-0"

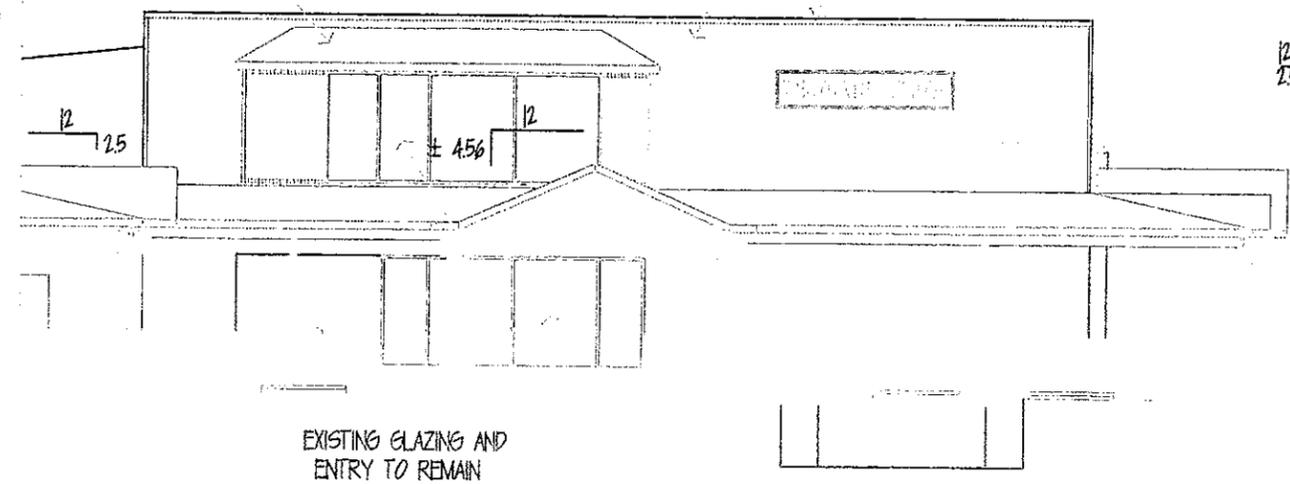
NEW EYEBROW ROOF
SIM. TO BELOW OVER
EXISTING GLAZING

HOG'S BACK
RIDGE LINE TO
CLEAR EXIST.
GLAZING.



NEW METAL SIDING OVER
NEW/EXIST. FLOORING AND
RIGID INSULATION
ABOVE NEW ROOFS
(TYPICAL)

NEW ROOF FLASHING
TO EXTEND OVER NEW
METAL SIDING ASSEMBLY

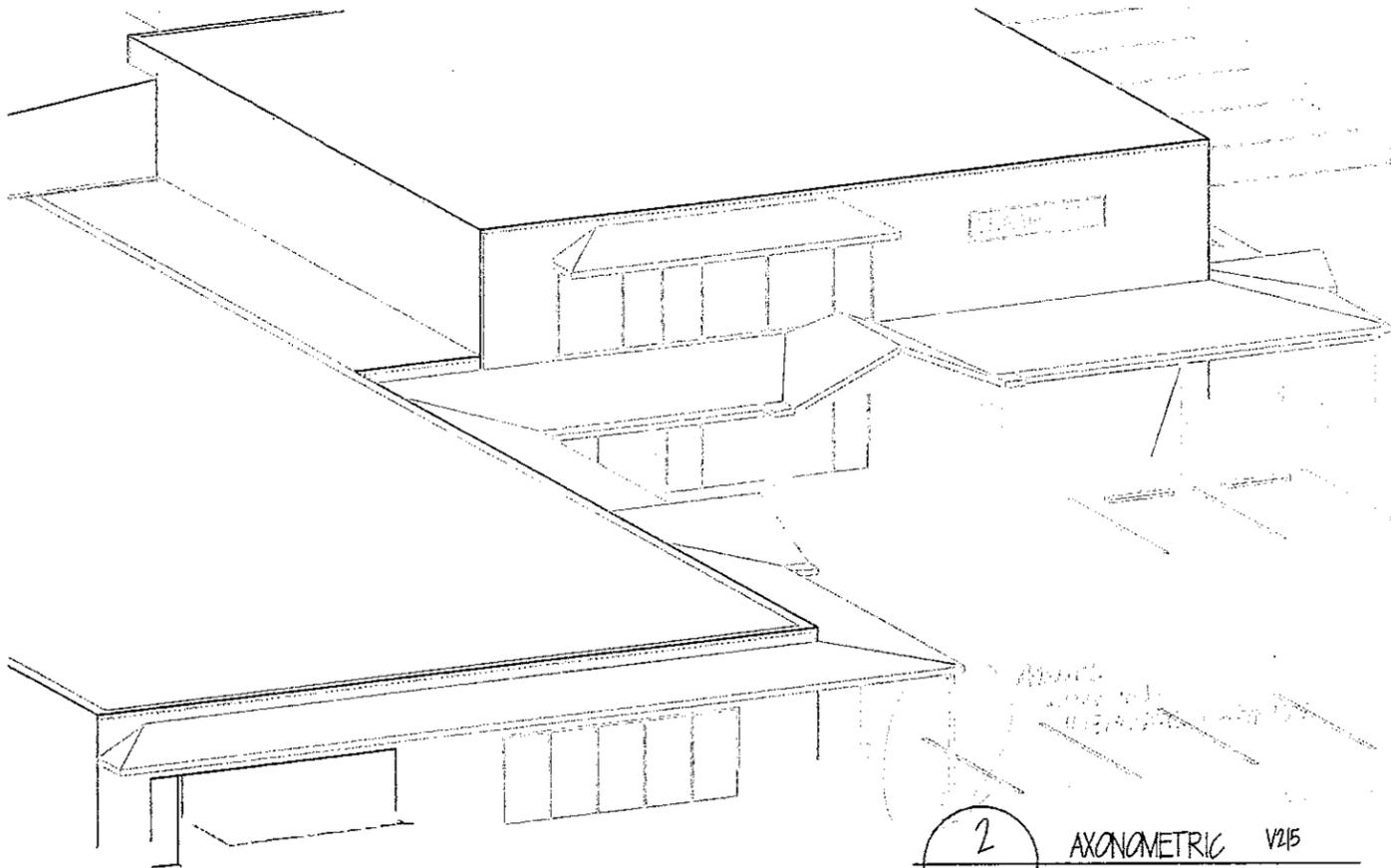


EXISTING GLAZING AND
ENTRY TO REMAIN

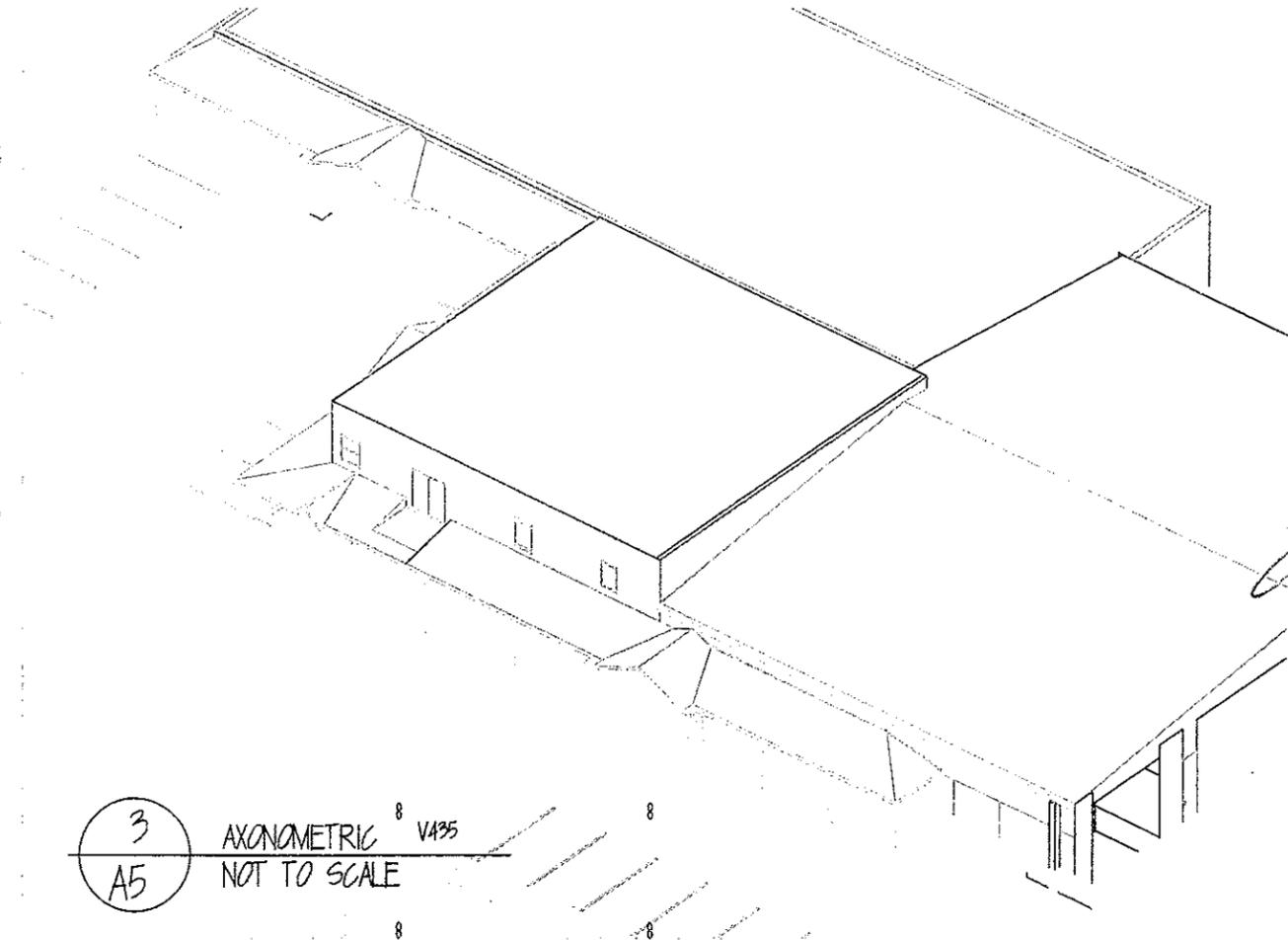
COLUMNS AT ENTRIES :
STONE BASE AND CEMENTITIOUS
UPPERS TO MATCH NEW EXTERIOR
WALL TREATMENTS.

1 WEST ELEVATION/FED EX
SCALE : 1/16" = 1'-0"

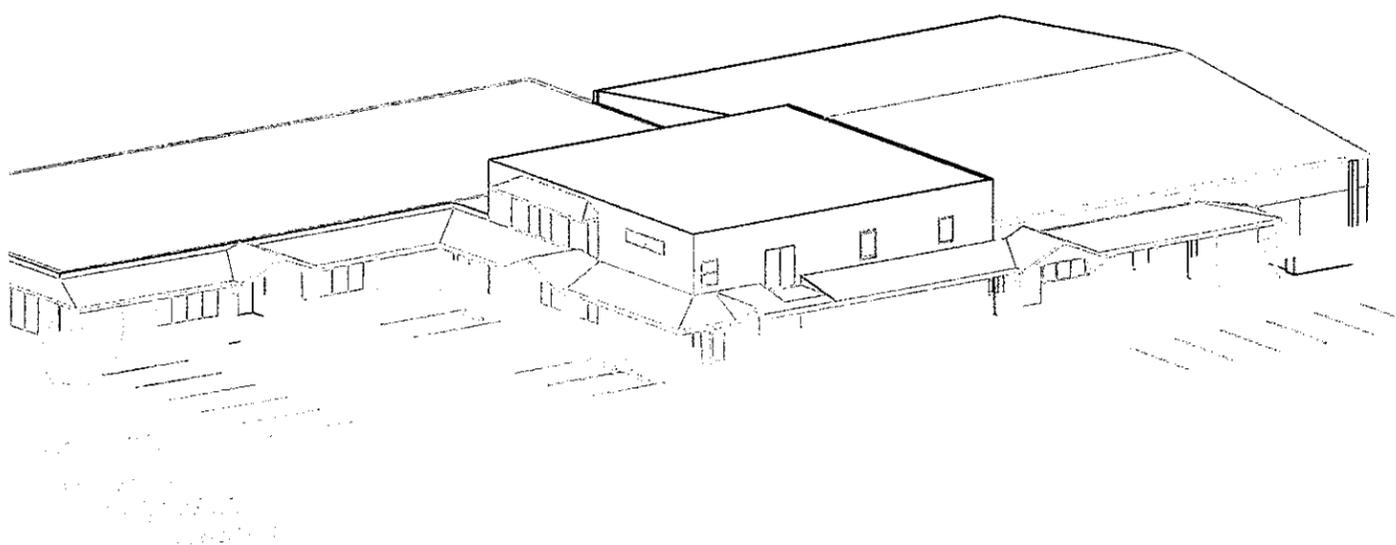
4 NORTH ELEVATION/ FINGER LAKES
SCALE : 3/32" = 1'-0"



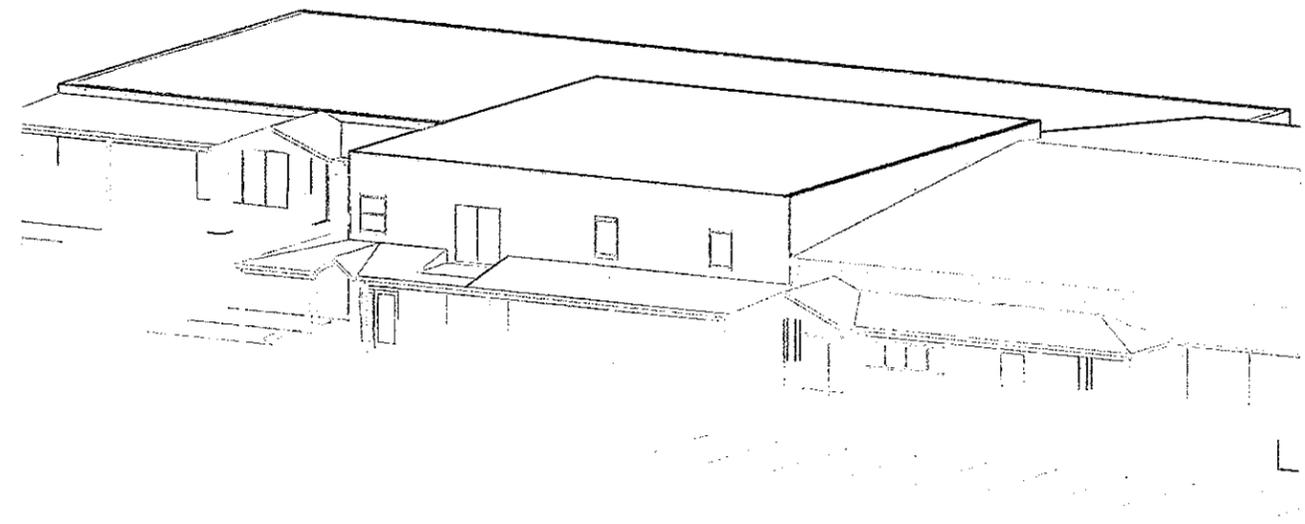
2
A5
AXONOMETRIC V215
NOT TO SCALE



3
A5
AXONOMETRIC V435
NOT TO SCALE



1
A5
AXONOMETRIC V115
NOT TO SCALE



4
A5
AXONOMETRIC V410
NOT TO SCALE



stink
BRYAN CONSTRUCTION
83 FOURTH STREET
TROY, N.Y. 12180
(518) 274-0451



03.27.13

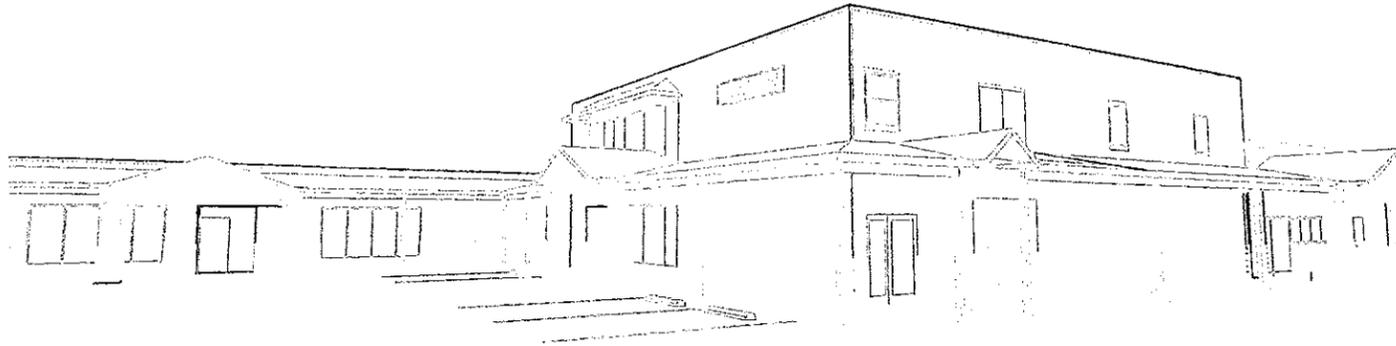
ELEVATIONS/
VIEWS

SHEET NUMBER	A5
DATE:	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

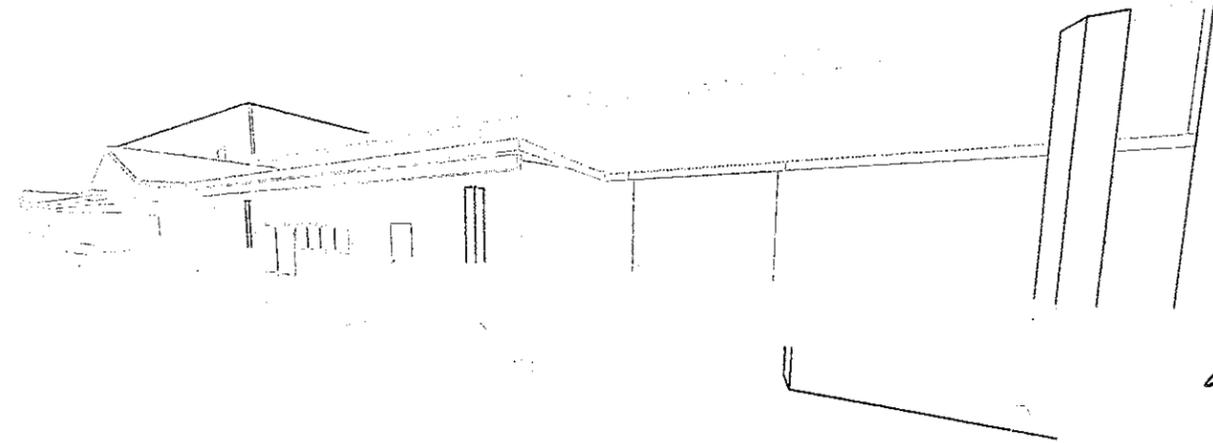
REVISIONS

BRYAN CONSTRUCTION
83 FOURTH STREET
TROY, NY 12180
(518) 274-0451

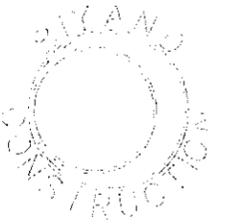
2 PERSPECTIVE PE1a
A6 NOT TO SCALE



3 PERSPECTIVE PE4
A6 NOT TO SCALE



RUN EXISTING DOWNSPOUTS INTO
PVC REDUCERS MOUNTED IN STANDARD
ROOF FLASHING COLLARS. (TYP. 3) LOCATIONS



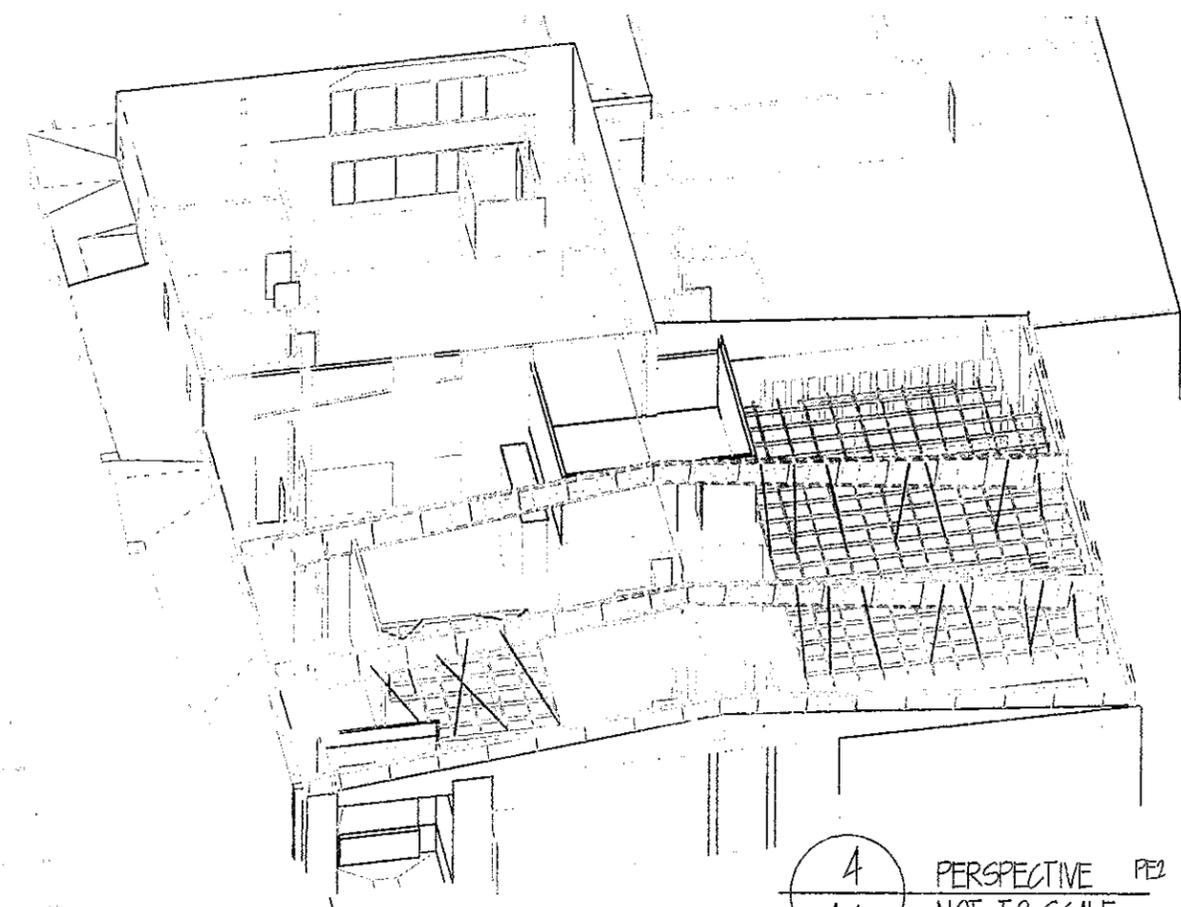
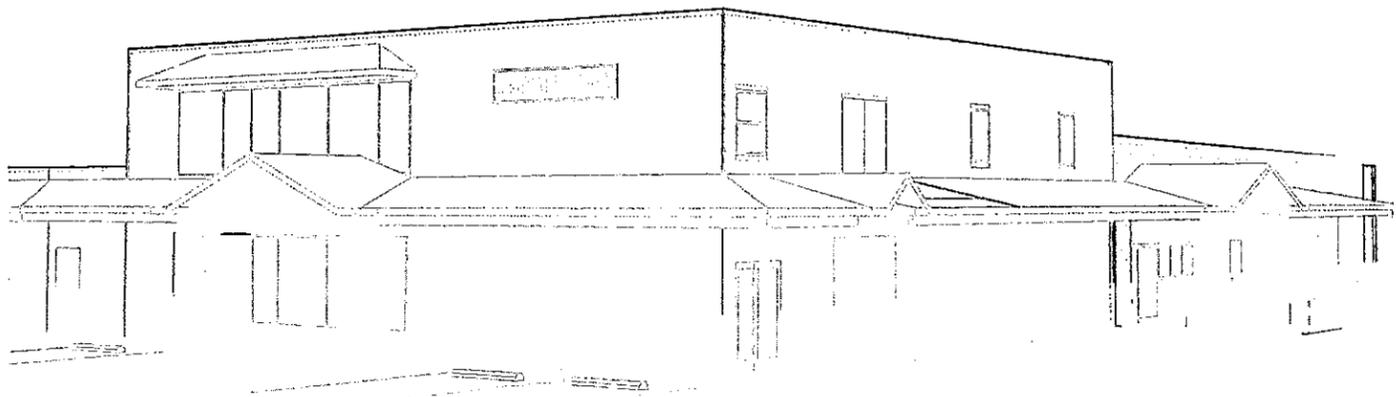
BRIAN J. RYAN
BRIAN CONSTRUCTION
35 FORTY THREE
TROY, N.Y. 12180
(518) 235-1462



03-27-13

NEW 12" x 12" 'COLUMN' SURROUNDS
AROUND EXISTING DOWNSPOUTS
FROM UNDER SOFFIT TO GRADE.
FABRICATE w/ REMOVABLE FACE
FOR SERVICE ACCESS. (TYP. 3) LOC.

1 PERSPECTIVE PE1b
A6 NOT TO SCALE



4 PERSPECTIVE PE2
A6 NOT TO SCALE

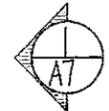
PERSPECTIVES/
VIEWS

SHEET NUMBER	A6
DATE:	March 13, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

REVISIONS

DATE: 03-27-13
BY: BJR
CHECKED BY: BJR
DATE: 03-27-13

2x 8 MAIN MEMBERS @ 6'-0" o.c. w/
 2x 6 INTERMEDIATES @ 3'-0" o.c. w/
 2x 4 CROSSES @ 3'-0" o.c.
 ± 14'-0" AFF.

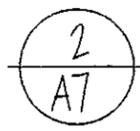


*PAINT ALL STRUCTURE ABOVE
 NEW OPEN 2x CEILINGS
 FLAT BLACK

2x 6 ARRANGE HANGER WIRE
 AS SHOWN TO PROVIDE
 LATERAL BRACING

STOP CEILING GRID AT
 FACE OF NEW COOLERS
 BELOW.

2x 6 LEDGER ON 'SOFFIT'
 THIS END TO SUPPORT
 C.L.B. (OPTIONAL IN LIEU
 OF WIRE)

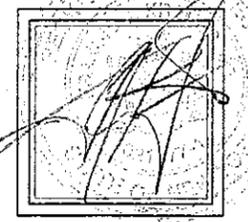


REFLECTED CEILING DETAILS
 NOT TO SCALE

NOTE:
 ALL CEILING GRID 2x MATERIALS
 TO BE FLAME RETARDANT
 TREATED WOOD.



stinks
 BY AND CONSTRUCTION
 83 FOUNTAIN STREET
 TROY, N.Y. 12180
 (518) 261-8445



REFLECTED CEILING
 PLAN

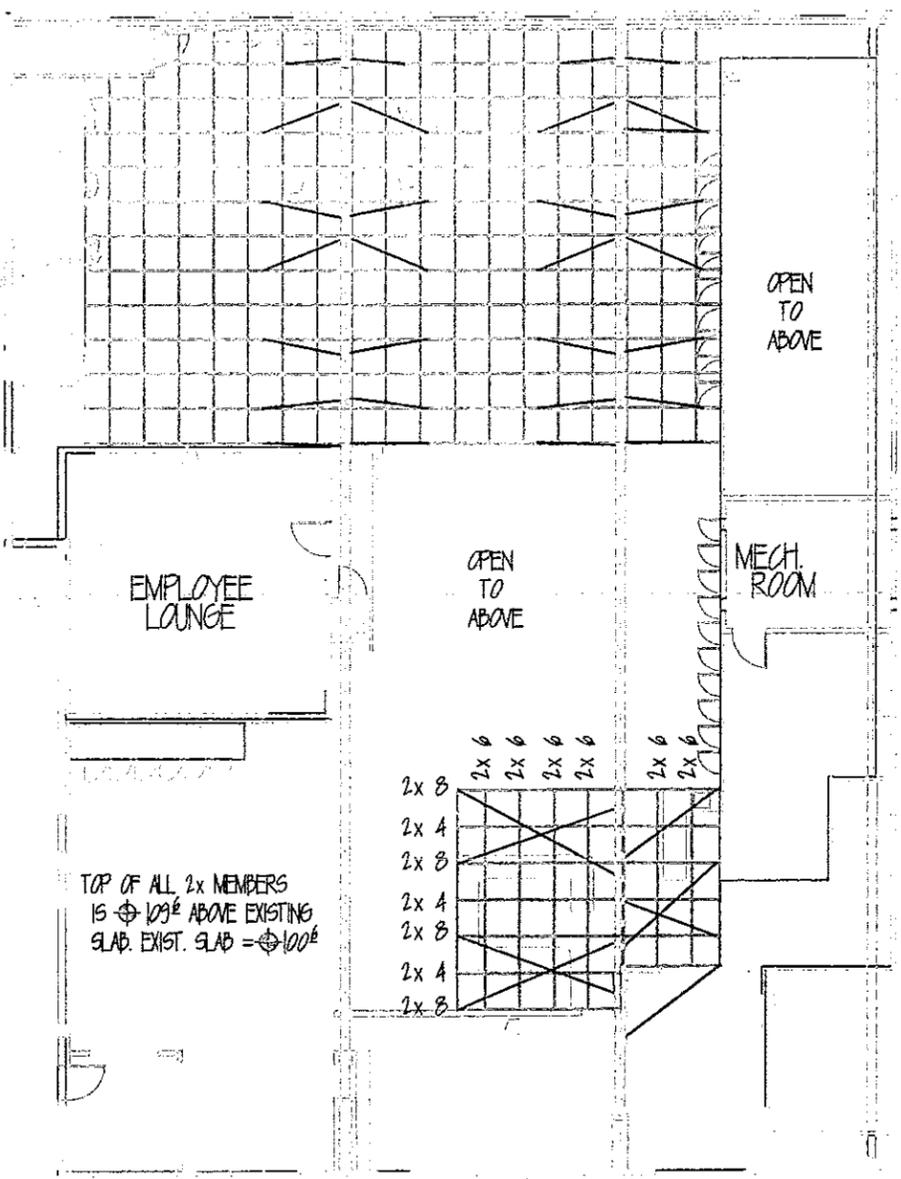
SHEET NUMBER	A7
DATE:	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

REVISIONS

DATE: 03/18/13
 TIME: 14:58
 USER: ssf
 PLOT: 03/18/13 14:58

SPLICE 2x 8 MEMBERS w/
 4 SISTERS OR 8"x 15"
 MENDING PLATE TOP AND
 BOTTOM.

LEDGER



TOP OF ALL 2x MEMBERS
 IS 11 1/2" ABOVE EXISTING
 SLAB. TOP OF SLAB IS
 TO BE CONSIDERED 100'

2x 8

2x 4

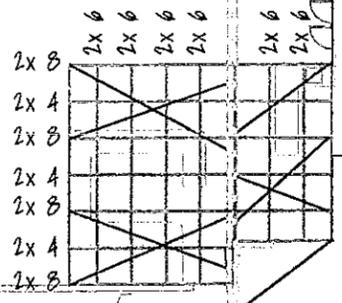
OPEN
 TO
 ABOVE

OPEN
 TO
 ABOVE

MECH.
 ROOM

LEDGERS ON FACE
 OF ADJOINING WALLS
 w/ HURRICANE CLIP
 ATTACHMENTS.

TOP OF ALL 2x MEMBERS
 IS 10 3/4" ABOVE EXISTING
 SLAB. EXIST. SLAB = 100'

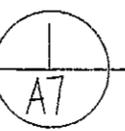
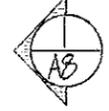


12 GA HANGER WIRE FASTENED
 TO 3" EYE HOOKS EA END
 w/ MIN 2" PENETRATION.
 (TYPICAL)

COVER COL/GIRDERS w/
 5/8" GWB (NOT SHOWN)
 (TYP.)

2x 6 BLOCKING, 24" o.c.,
 STAGGERED EA. SIDE, FASTEN
 TO COL/GIRDER w/ 3" PAN
 HEAD SCREWS DRILLED THROUGH
 WEB. (TYP.)

RAFT' OVER CANTERS
 ± 9'-6" AFF.

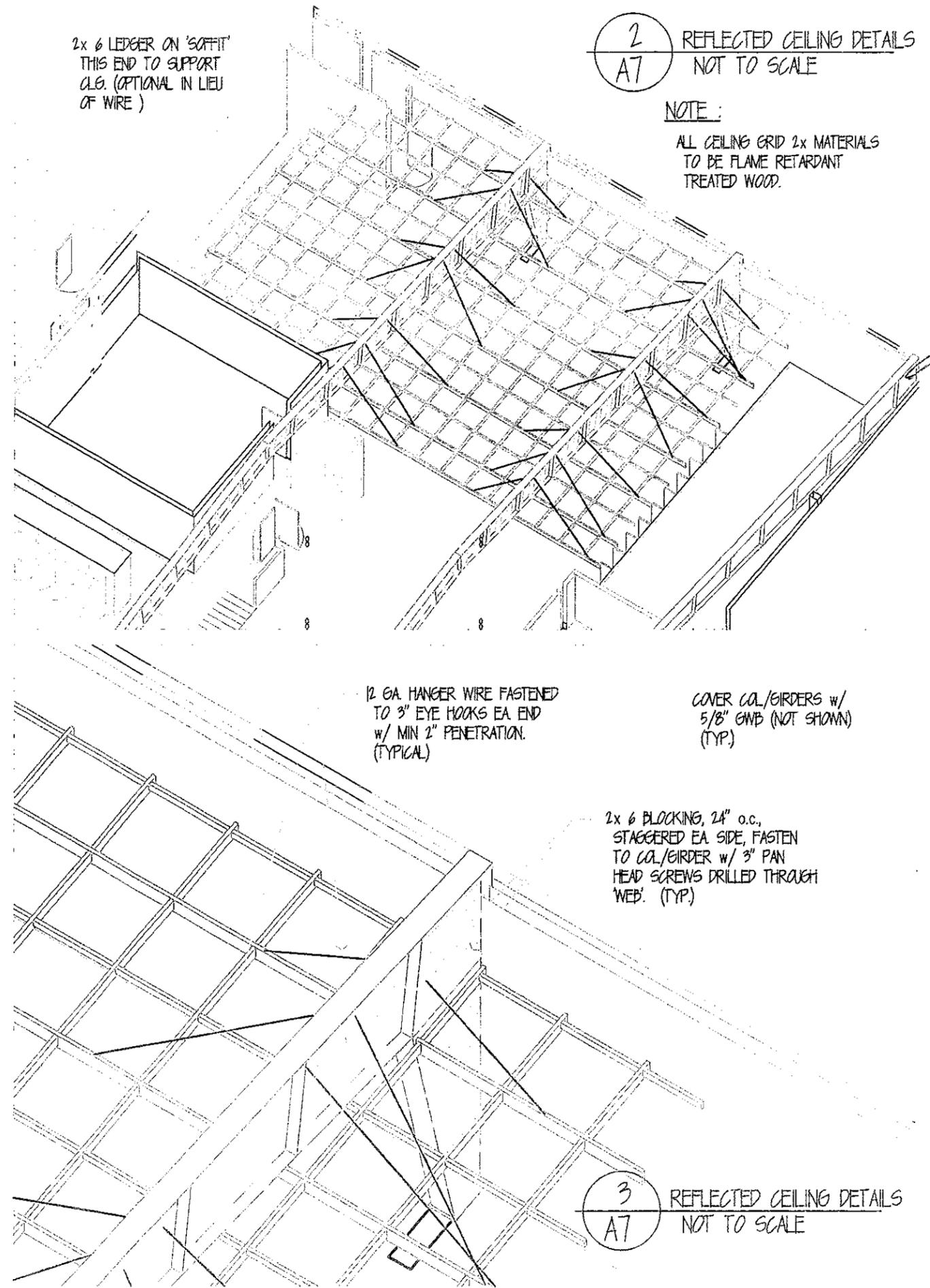


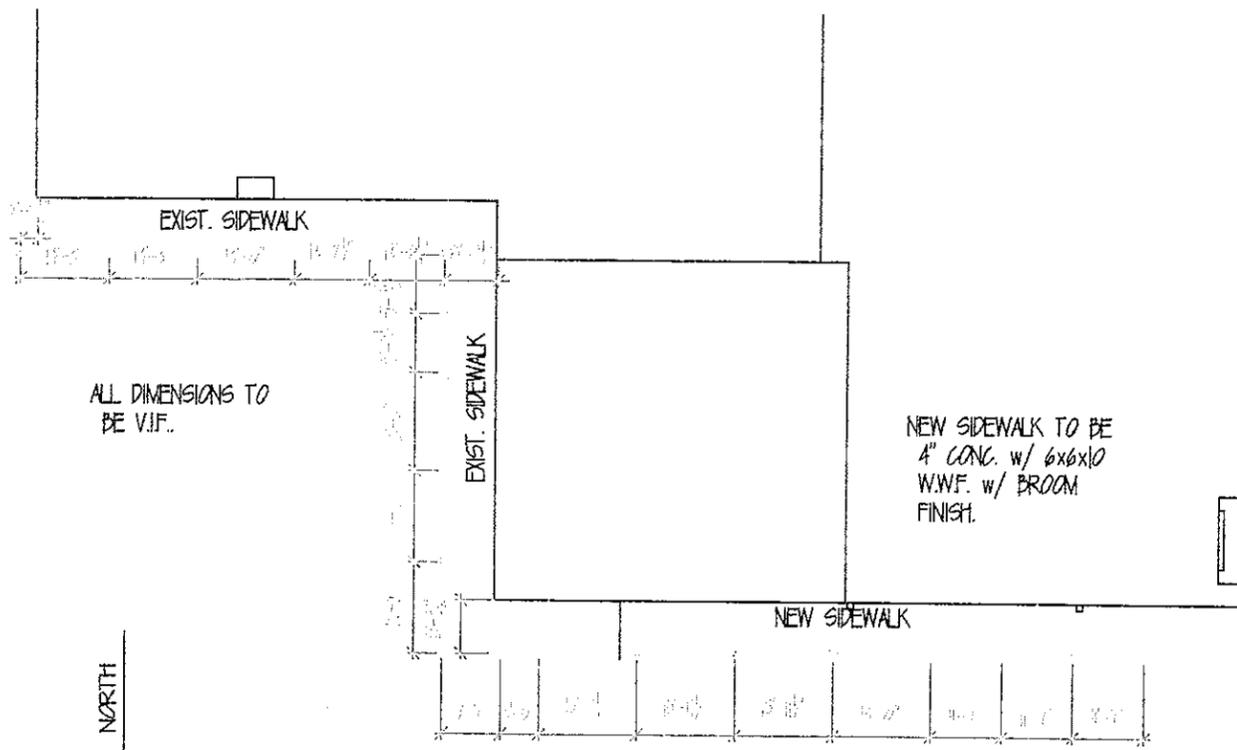
REFLECTED CEILING PLAN
 SCALE: 1/16" = 1'-0"

NORTH



REFLECTED CEILING DETAILS
 NOT TO SCALE



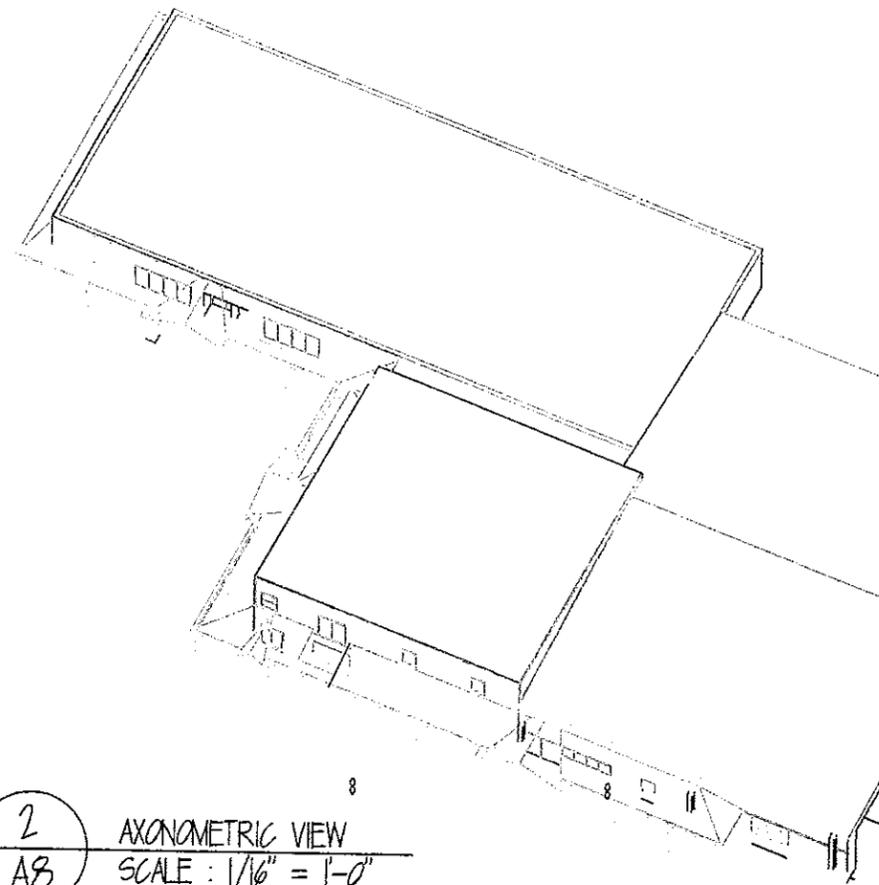


ALL DIMENSIONS TO BE V.I.F.

NEW SIDEWALK TO BE 4" CONC. w/ 6x6x10 W.W.F. w/ BROOM FINISH.

ALL PIERS TO BE 12" Ø TO 48" BELOW FINISH GRADE UNO. TOP OF PIER TO BE 2-4" ABOVE FINISH GRADE

1
A8
PIER LAYOUT
SCALE: 1/32" = 1'-0"



2
A8
AXONOMETRIC VIEW
SCALE: 1/16" = 1'-0"

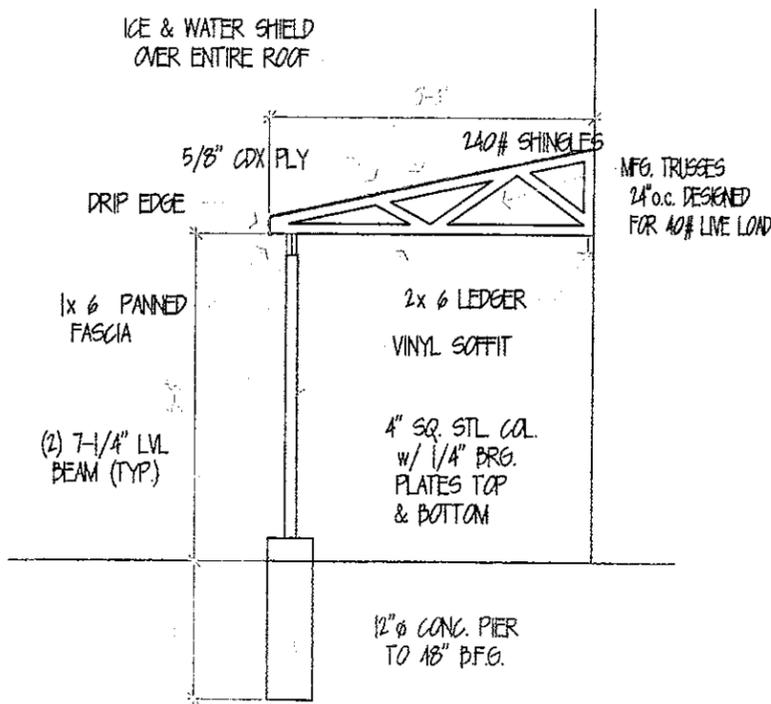
NOTE:
ALL DIMENSIONS TO BE VERIFIED IN FIELD.
REPORT ANY DISCREPANCIES TO ARCHITECT.



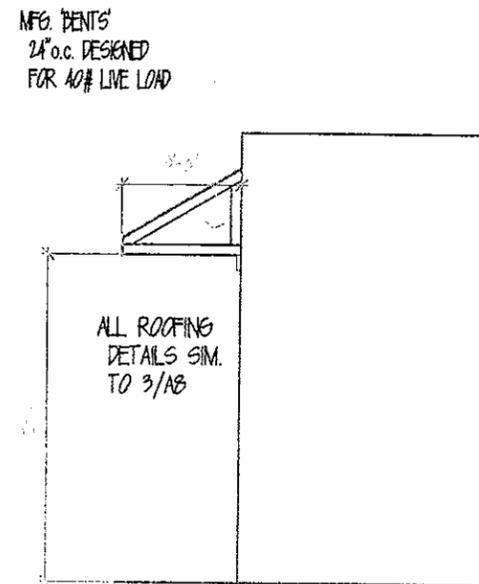
Frank S. Byard
BYARD ENGINEERING
43 TOURIST STREET
TROY, N.Y. 12180
(518) 274-0451

[Signature]

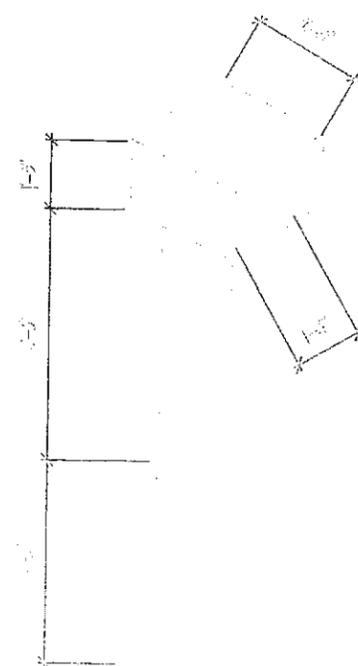
ROOF SURROUND/
SECTION/DETAILS 03-27-13



3
A8
SECTION A-A
SCALE: 3/16" = 1'-0"



4
A8
SECTION B-B
SCALE: 3/16" = 1'-0"

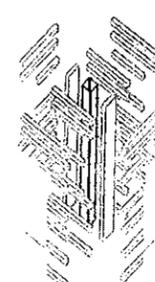


5
A8
PRINCIPAL COLUMN DETAILS
SCALE: 3/8" = 1'-0"

SANDWICH STEEL COLUMN w/ (2) 2x6 P.T. ATTACH w/ (3) 7/16" Ø THROUGH BOLTS

2x 4 FRAMES ATTACHED TO 2x 6s AS PER DIMENSIONS AT 5/AB

6
A8
COLUMN DETAILS
SCALE: 1/2" = 1'-0"



SHEATH FRAMES w/ 1/2" CEMENT BOARD OVER 7/16" OSB.

CULTURED STONE AND TRIM OVER LOWER 3'-6" SECTION TO MATCH WALLS.

STO/DRYWIT PARGE OVER UPPER SECTIONS.

SHEET NUMBER	A8
DATE	March 18, 2013
DWG BY:	
CHK BY:	ssf
FILE:	BEVID.dwg

REVISIONS

NO.	DESCRIPTION	DATE