



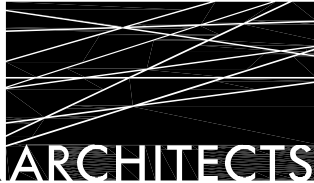
PURITY PROJECT

700 Cascadilla Street
Ithaca, NY 14850

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A201 ELEVATION RENDERING
A202 ELEVATION RENDERING
A203 ELEVATION RENDERING



JOHN SNYDERARCHITECTS
transforming spaces

Architect: John Snyder Architects, PLLC
142R E. State Street, The Commons, Ithaca, NY 14850
T. 607.273.3565
NY License No. 026350
www.js-architects.com E: john@js-architects.com

BUILDING CODE ANALYSIS

APPLICABLE CODES

BUILDING CODE OF NEW YORK STATE
EXISTING BUILDING CODE OF NEW YORK STATE
MECHANICAL BUILDING CODE OF NEW YORK STATE
ELECTRICAL BUILDING CODE OF NEW YORK STATE
PLUMBING BUILDING CODE OF NEW YORK STATE
ENERGY CONSERVATION CODE OF NEW YORK STATE
NATIONAL ELECTRICAL CODE / NFPA 70
LIFE SAFETY NFPA 101
ELECTRICAL ASHRAE 90.1, 2007
ENERGY ASHRAE 90.1, 2007
ACCESSIBILITY ICC/ANSI A117.1

BUILDING AREA

Area	Allowable	Actual
First Floor	24,000 SF	7,434 SF
Second Floor	24,000 SF	7,040 SF
Third Floor	24,000 SF	7,040 SF
Fourth Floor	24,000 SF	7,040 SF
Fifth Floor	24,000 SF	6,698 SF

ALLOWABLE HEIGHT 5 Stories (504.2)

USE AND OCCUPANCY CLASSIFICATION

Occupancy **B - Business**
M - Mercantile
A-2 Restaurant
R-2 Residential

	Required	Actual
Travel Distance	300	86 feet
Exits	2 req'd	> than 2
Corridor Width	44"	60"
Allowable Floor Area	24,000SF	7,434 Sf
Dead Ends	20 feet	15 feet
Door Width	36 inches	36 inches
Common Path of Travel	300 feet	54 feet

FIRE RESISTANT REQUIREMENTS

Construction Classification: IIB (Existing Building)
IIA (New Building)

Structural Frame	0 - Hour
Floor Construction	0 - Hour
Bearing Walls (Interior/ Exterior)	0 - Hour
Roof Construction	0 - Hour
Nonbearing Interior Walls/ Partitions	0 - Hour
Nonbearing Exterior Walls	0 - Hour
Separation Between R-2 and A-2 Occupancy	0 - Hour

SEISMIC DESIGN

Seismic Design Category	"B"
Seismic Importance Factor	1.5
Seismic Component Importance Factor	
Life Safety Elements	1.5

FIRE PROTECTION

Refer to Drawings

ZONING ANALYSIS - 700 Cascadilla Street, WEDZ - 1A
555 North Fulton Street WEDZ - 1A
621 Cascadilla Street, WEDZ - 1B

PROPOSED USE

RESIDENTIAL (R-2)	Multiple Dwelling Units/ Apartments Parking Lot
BUSINESS (B)	Business Professional Offices Parking Lot
MERCANTILE (M)	Retail, Parking Lot
ASSEMBLY (A-2)	Restaurant, Parking Lot

PERMITTED PRIMARY USES - WEDZ-1A

- Parking Lot
- Recreational or Cultural Facility
- Public Recreation
- Boatel
- Sales or Storage of Marine Related Equipment
- Light Manufacture of Marine Related Equipment
- Gasoline Station
- Parking Garages
- Motor Vehicle Sales and Service
- Printing, Heating, Welding, Air Conditioning
- Plumbing or Similar Shop
- Retail Store or Commercial Facility
- Restaurant, Fast Food Establishment, Tavern, Club Location or Private Social Center
- Confectionary, Millinery, Dress Making and other Activities involving light hand fabrication
- Theater, Bowling Alley, Auditorium or Similar place of Public Assembly
- Hotel, Motel
- Funeral Home or Mortuary
- Business or Professional Offices
- Bank or Monetary Institution
- Office of Government
- Public, Private or Parochial School
- One Family Detached, Semi Detached or Attached Dwelling or Two Family Dwelling
- Multiple Dwelling Unit
- Room or Boarding House
- Cooperative Household
- Fraternity, Sorority or Group House
- Townhouse or Garden Apartment Housing
- Nursery School, Nursing Convalescent or Rest Home
- One Family Detached or Semi-Detached Dwelling Occupied by Individual Family or Functional Family plus not more than two unrelated occupants.
- Two Family Dwelling each unit of which may be occupied by an individual or family plus not more than two unrelated occupants per unit.
- One Family Detached Dwelling occupied by one family or owner occupied plus not more than two unrelated occupants.
- Church and Related Buildings
- Public Park or Playground
- Library
- Fire Station

PERMITTED PRIMARY USES - WEDZ-1B

- One family detached, semi-detached, or attached dwelling, or two-family dwelling
- Churches and related buildings
- Public park or playground
- Library, fire station
- Multiple dwelling
- Rooming or boarding houses
- Cooperative household
- Fraternity, sorority, or group house
- Dormitory
- Townhouse or garden apartment housing
- Nursery school, child day care center, group Adult Day Care
- Nursing, convalescent, or rest home
- Funeral home or mortuary
- Business or professional office
- Bank or monetary institution
- Office of government
- Retail store or service commercial facility
- Restaurant, fast food establishment, tavern
- Club, lodge, or private social center
- Confectionary, millinery, dressmaking, and other activities involving light hand work as well as sales
- Theater, bowling alley, auditorium or other similar place of public assembly
- Hotel, motel

OFF STREET PARKING REQUIREMENTS: None

OFF STREET LOADING REQUIREMENTS: None

MINIMUM LOT SIZE: 700 Cascadilla St.
Allowable: 30,000 SF
Actual 21,000 SF

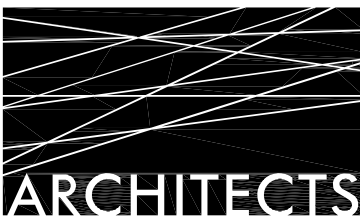
WIDTH IN FEET AT STREET LINE:
Allowable: 30' Minimum
Actual 225'

MAXIMUM BUILDING HEIGHT:
5 Stories 5 Stories

MAXIMUM LOT COVERAGE:
Allowable: 90%
Actual 35%

SETBACKS
Front *Allowable* None
One Side: None
Other Side: None
Rear: 10' Minimum *Actual* 131 feet

JOHN SNYDER



142R East State Street
The Commons
Ithaca, NY 14850

P: 607 . 273 . 3565

www.js-architects.com

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Purity Project

700 Cascadilla St.
Ithaca, NY 14850

Issue For Submission
May 2, 2013

Cover Sheet

JSA PROJ # 4401

G100

Project Description

Purity Project – 700 Cascadilla Street, 555 North Fulton Street Parking Lot and 621 Cascadilla Street Parking Lot - City of Ithaca

Site Narrative:

The project involves the demolition of a portion of the existing concrete masonry unit and steel framed building on the existing Purity Ice Cream site located at 700 Cascadilla Street. The original front section of the building will be retained. The site will be redeveloped to include an asphaltic and gravel base parking lot with granite curbing. The existing curb cut into the site from Meadow St. will be reduced from the present 51-foot wide approach to a 24-foot wide approach/drive lane to facilitate a more defined entry to the parking lot. This will increase street parking by approximately two cars. We are providing a one-way entrance from Fulton Street. This one-way entrance vastly improves traffic flow into the site and eliminates the possibility for vehicles to cross Fulton Street against the one-way traffic to the gas station located on the opposite side which is a common occurrence. We have had favorable discussions with the New York State Department of Transportation (NYSDOT) regarding this improvement from Fulton Street.

We are providing a wooden protective barrier along the Fulton Street property line to curtail cars from accidentally ending up in the Purity lot, which has occurred on numerous instances. We are also providing a drive lane along Fulton Street and inside the property to provide a path for patrons on Purity Ice Cream to search for other parking spaces either on Cascadilla Street or to circle back to the Purity Ice Cream parking lot entrance on Meadow Street. This drive lane also provides for easier trash removal from the screened trash dumpster located near the Fulton street entrance to the exit on Cascadilla Street.

Paving on the site will be reduced from the current parking lot configuration. We have reduced parking on this site by approximately 5 cars. The current parking lot arrangement is haphazard and the proposed design improves the situation considerably.

As part of this project we are redeveloping adjacent properties located at 555 North Fulton Street and 621 Cascadilla Street to provide additional parking for the business and residential uses of the project.

Construction Phasing and Staging:

The project will be constructed in a 10-12 month timeframe. We anticipate starting construction starting in September 2013 pending favorable financing. The current operations of Purity Ice Cream will be moved to 803 Cascadilla Street during construction in October 2013. During construction the Purity Site will be closed and accessible only to contractors and material delivery vehicles for the project. We are planning on installing construction fencing and protective barriers. Signage will be placed on Fulton Street, Meadow Street and Cascadilla Street to direct patrons of Purity Ice Cream to the temporary location. During construction the sidewalk along Cascadilla Street will be closed for pedestrians. Contractor parking and some material staging will be at the Fulton Street site.

Architectural Narrative:

Four stories will be added above the first story and will provide between 20-24 one and two bedroom residential rental units. There may also be 1,000 to 6,000 square feet of rental office space. The Purity Ice Cream retail store will maintain 1,800 square feet in the renovated iconic front portion of the building facing Meadow Street. The new addition will include a kitchen, seating and loading area for Purity, as well a 1,000 square foot business occupancy on the first floor and a lobby and ancillary spaces for tenants of the building. We are also providing outside seating area located along Cascadilla Street and will be replacing and improving the sidewalk along this area and as indicated on the drawings.

The major structural system will be a hollow core concrete plank flooring system resting on a steel frame with friction piles and concrete grade beams as the anticipated foundation system. The project will employ brick cavity wall construction on the North façade and the South façade will consist of glazed openings and brick and metal panel construction.

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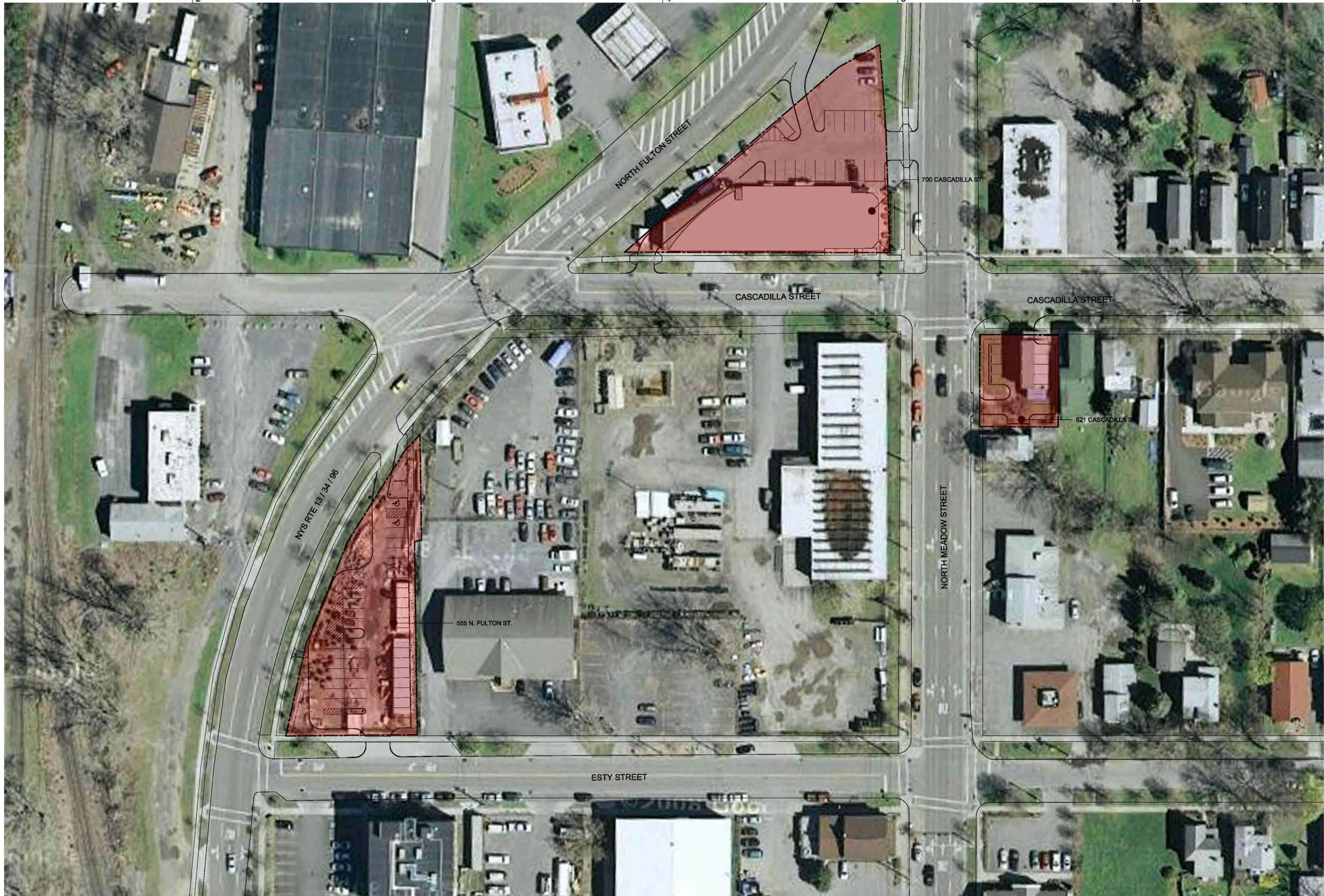
6

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A2 Location Plan
1:40

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The Commons
Ithaca, NY 14850

P: 607 . 273 . 3565

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Purity Project

700 Cascadilla St.
Ithaca, NY 14850

Issue For Planning Board Review
May 2, 2013

Location Plan

JSA PROJ # 4401

G101

D

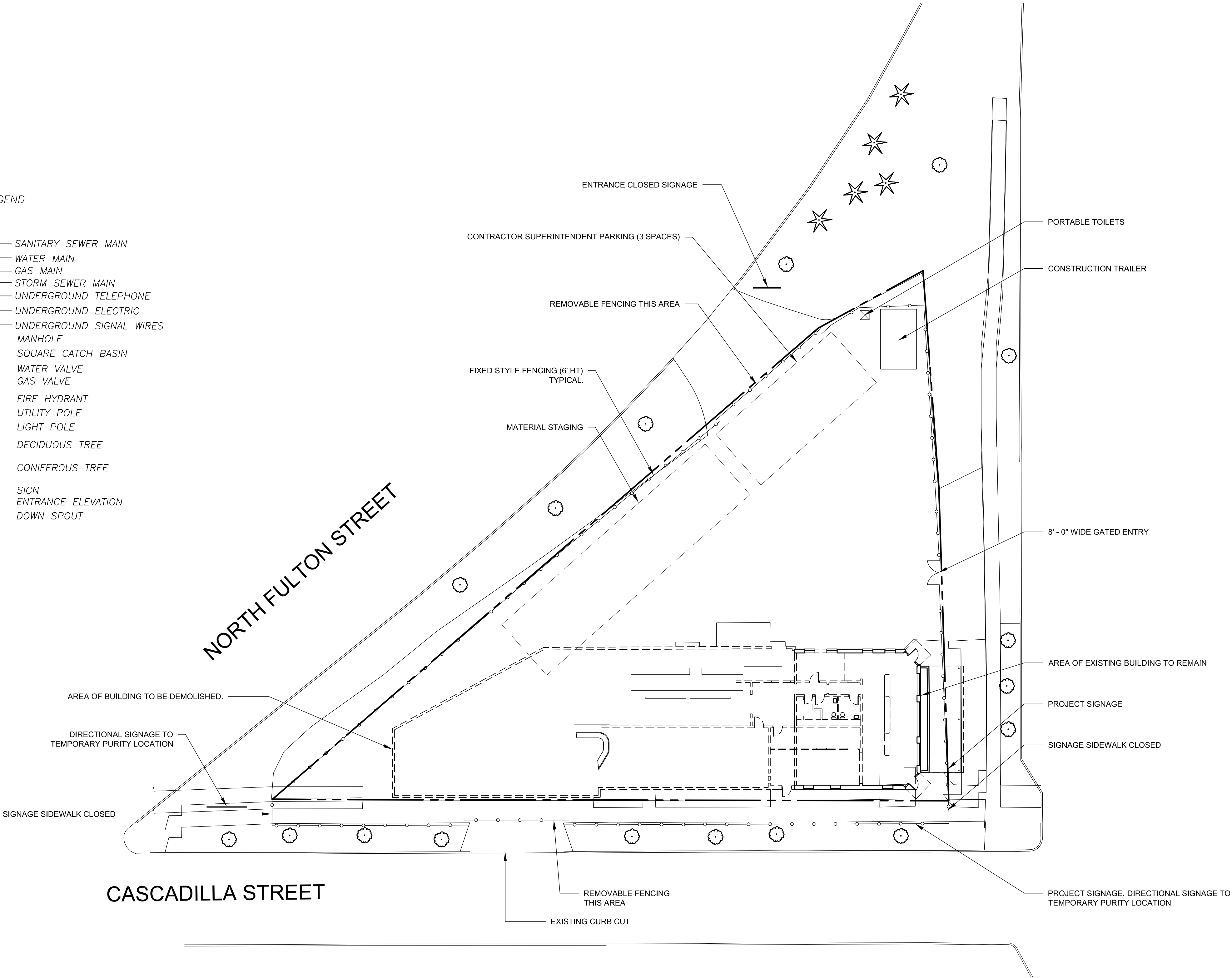
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LEGEND	
	SANITARY SEWER MAIN
	WATER MAIN
	GAS MAIN
	STORM SEWER MAIN
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	UNDERGROUND SIGNAL WIRES
	MANHOLE
	SQUARE CATCH BASIN
	WATER VALVE
	GAS VALVE
	FIRE HYDRANT
	UTILITY POLE
	LIGHT POLE
	DECIDUOUS TREE
	CONIFEROUS TREE
	SIGN
	ENTRANCE ELEVATION
	DOWN SPOUT



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Issue For Submission
May 2, 2013

Construction
Staging Plan

JSA PROJ # 4401



A2

Construction Staging Plan

1:40

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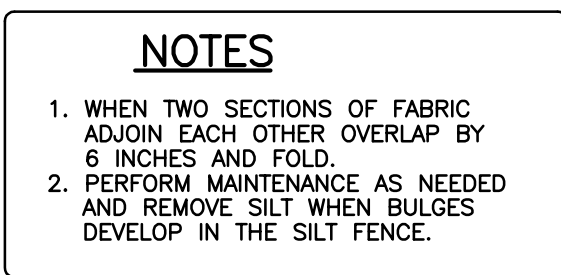
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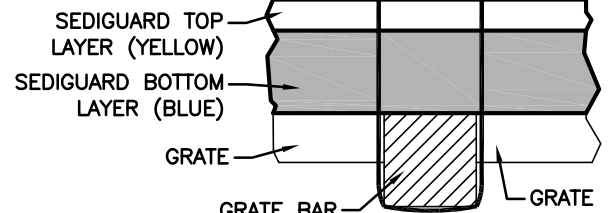
G102



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

SEQUENCING

1. INSTALL SILT FENCING IN LOCATIONS SHOWN.
2. INSTALL TRUCK TRACKING PADS AT CONSTRUCTION SITE EXIT.
3. INSTALL SEDIGUARD PROTECTION ON EXISTING STORM INLETS.
4. BEGIN BUILDING AND PAVEMENT EARTHWORK OPERATIONS. RUNOFF FROM ANY EXPOSED SOILS TO BE DIRECTED TO SILT FENCE OR SEDIGUARD PROTECTED INLETS. PROVIDE TEMPORARY DIVERSION SWALES AS NECESSARY.
5. COMPLETE GRADING, PAVEMENTS AND BUILDINGS
6. INSTALL LANDSCAPING, TOPSOIL, SEED AND MULCH.
7. REMOVE SILT AND DEBRIS FROM ALL STORM SEWERS.

GENERAL NOTES

1. SILT FENCING TO BE INSTALLED ALONG CONTOURS, NOT CROSSING CONTOURS.
2. SURFACE RUNOFF FROM UPGRADE AREAS SHALL BE DIVERTED OR OTHERWISE PREVENTED FROM FLOWING THROUGH AREAS OF CONSTRUCTION ACTIVITY.
3. RUNOFF FROM DISTURBED AREAS SHALL NOT BE DISCHARGED OFF-SITE WITHOUT FIRST PASSING THROUGH A PROPERLY INSTALLED AND MAINTAINED SEDIMENT CONTROL STRUCTURE.
4. PERMANENT VEGETATION SHALL BE INSTALLED IMMEDIATELY FOLLOWING FINAL GRADING.
5. ALL CONTROL STRUCTURES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED DURING CONSTRUCTION.
6. MAINTAIN TRUCK TRACKING PAD FOR DURATION OF PROJECT. TOP DRESS WITH ADDITIONAL AGGREGATE WHEN SURFACE BECOMES PACKED WITH SEDIMENT.
7. MAINTAIN INLET PROTECTION ON ALL INLETS THROUGH ALL PHASES OF THE PROJECT
8. APPLY TEMPORARY OR PERMANENT SEED AND MULCH TO DISTURBED AREAS WITHIN 7 DAYS AFTER CLEARING.
9. PLACE SILT FENCE AROUND TOPSOIL STOCKPILES AND TEMPORARILY SEED IF LEFT UNDISTURBED FOR GREATER THAN 7 DAYS
10. DISPOSE OF ALL FILL IN A MANNER THAT IS CONSISTENT WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

CONSERVATION SEED MIX
(TEMPORARY SEED)

SPRING SEEDINGS	
a) ANNUAL RYEGRASS:	0.70 LBS/1000 S.F.
b) SPRING OATS:	2.00 LBS/1000 S.F.
c) ANNUAL RYEGRASS:	0.35 LBS/1000 S.F.
AND SPRING OATS:	1.50 LBS/1000 S.F.
d) PERENNIAL RYEGRASS:	0.70 LBS/1000 S.F.

LATE SPRING & SUMMER SEEDINGS

a) SUDANGRASS:	0.90 LBS/1000 S.F.
b) ANNUAL RYEGRASS:	0.70 LBS/1000 S.F.
c) PERENNIAL RYEGRASS:	0.70 LBS/1000 S.F.

LATE SUMMER & FALL SEEDINGS

a) ANNUAL RYEGRASS (COMMON)	0.70 LBS/1000 S.F.
b) WINTER RYE (AROOSTOOK):	2.50 LBS/1000 S.F.
c) WINTER WHEAT:	2.75 LBS/1000 S.F.
d) PERENNIAL RYEGRASS (PENNFINE):	0.70 LBS/1000 S.F.

MULCH

CLEAN STRAW MULCH 100 LBS (2-3 BALES)/1000 S.F.

MULCH SHALL BE APPLIED OVER TEMPORARY OR PERMANENT SEEDING AND SHALL BE ANCHORED USING ONE OF THE FOLLOWING OPTIONS:


- A. ON SLOPES <3%, DRIVE TRACKED EQUIPMENT OVER MULCH, WITH TREADS RUNNING PARALLEL TO THE CONTOUR.
- B. USE A MULCH ANCHORING TOOL OR SQUARE SHOVEL TO CUT MULCH IN SO THAT MULCH IS TUCKED INTO THE SOIL BY 3"
- B. APPLY A TACKIFIER OVER MULCH CONSISTENT WITH MANUFACTURER'S SPECIFICATIONS.
- C. APPLY WOOD FIBER MULCH OVER STRAW MULCH AT A RATE OF 400 LBS. PER ACRE.
- D. SECURE MULCH IN PLACE WITH BIODEGRADABLE NETTING, OR WITH PEG AND TWINE SECURED BY WOOD STAKES SPACED AT 3' INTERVALS, AND TWINE WOVEN IN A CRISS-CROSS PATTERN.

NOT TO SCALE



Category	Number of people
People who did not go to the cinema	40
People who went to the cinema	20
People who did not go to the cinema	20

JOHN SNYDER



ARCHITECTS

142 East State Street
The Commons
Ithaca, NY 14850

P: 607 . 273 . 3565

www.js-architects.com

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T.G. MILLER, P.C.

ENGINEERS AND SURVEYORS
203 NORTH AURORA STREET
ITHACA, NEW YORK 14850
www.tgmillerpc.com
607-272-6477 tel.
607-273-6322 fax

Purity Project

700 Cascadilla St.
Ithaca, NY 14850

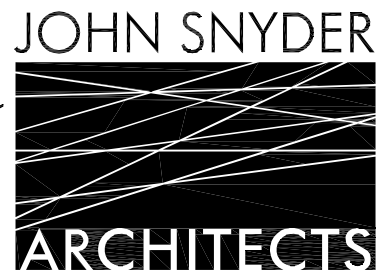
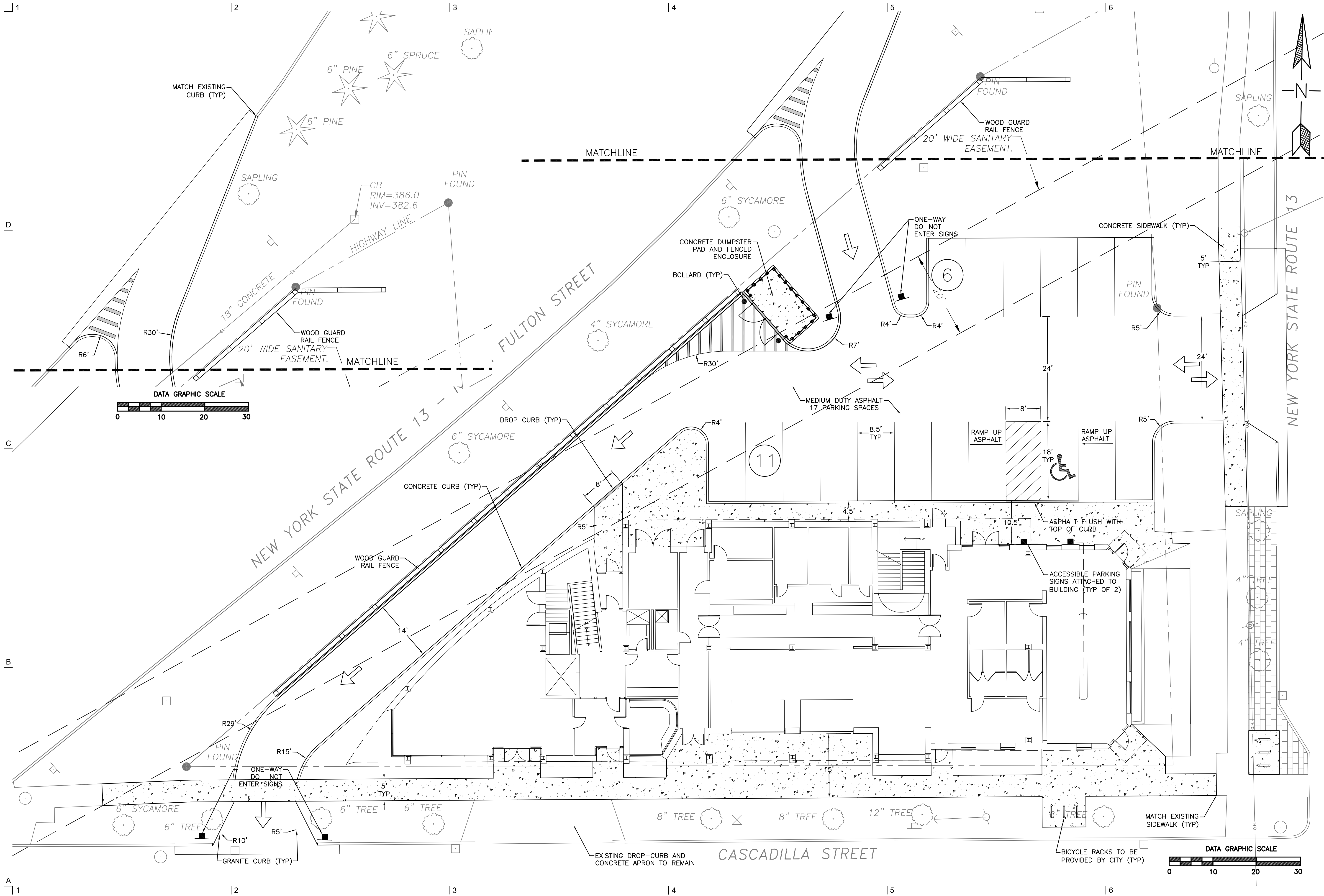
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May 2, 2013

EROSION AND SEDIMENT CONTROL PLAN

C101

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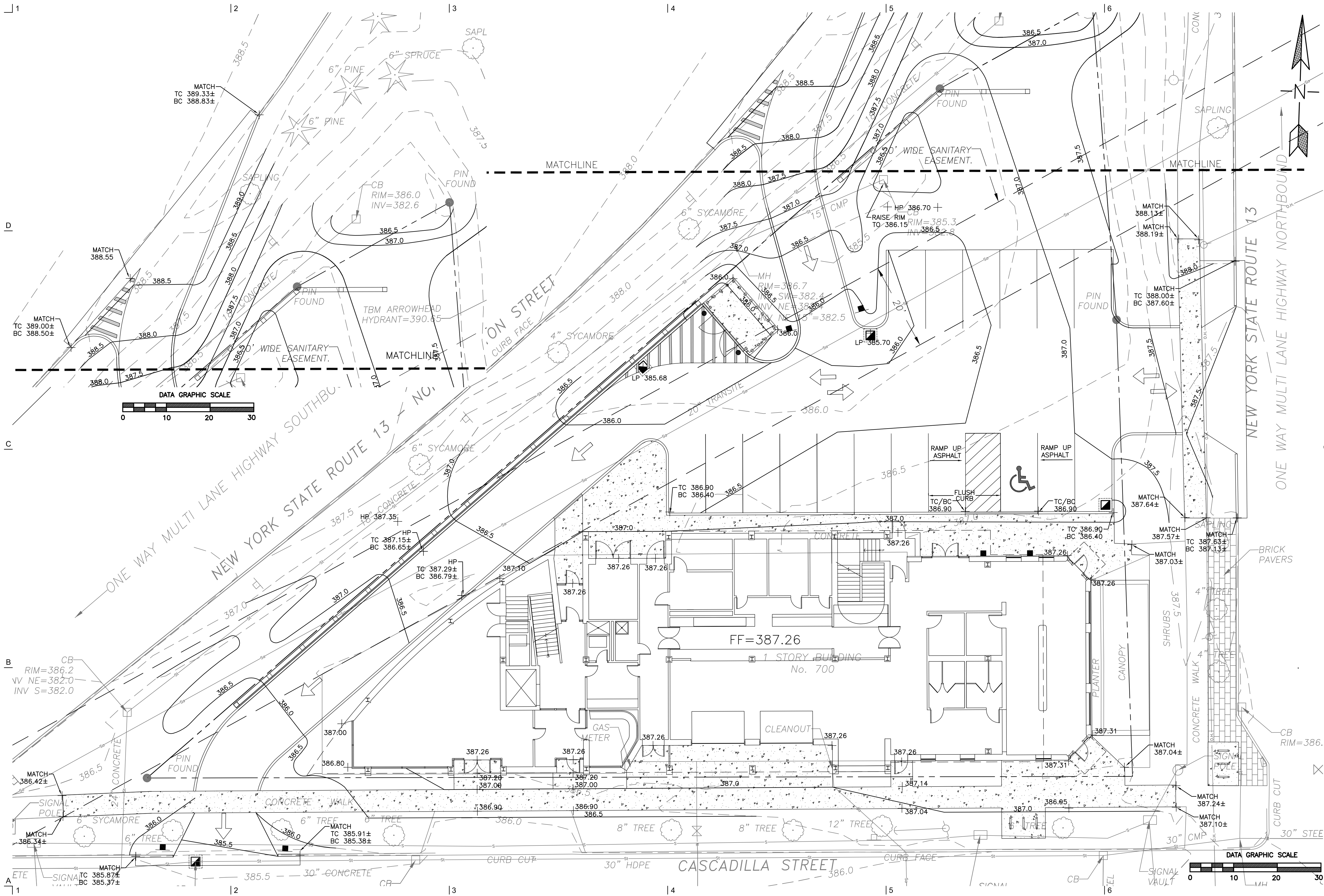
LAYOUT PLAN

JSA PROJ # 4401

C102

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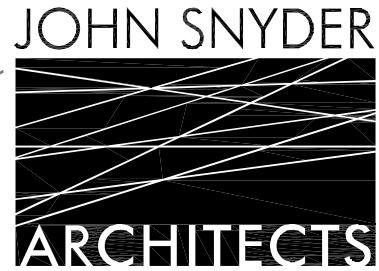
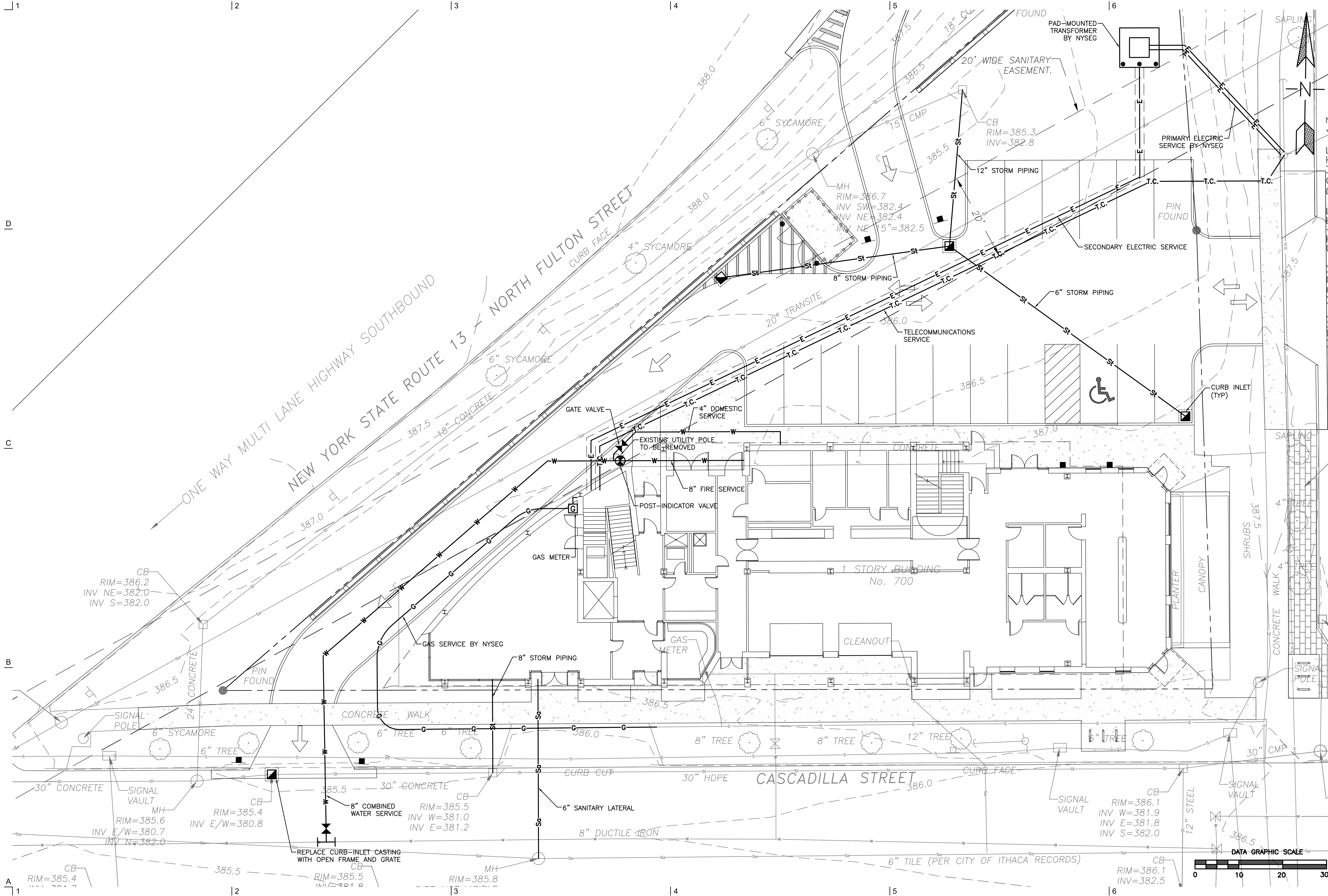
GRADING AND
DRAINAGE PLAN

JSA PROJ # 4401

C103

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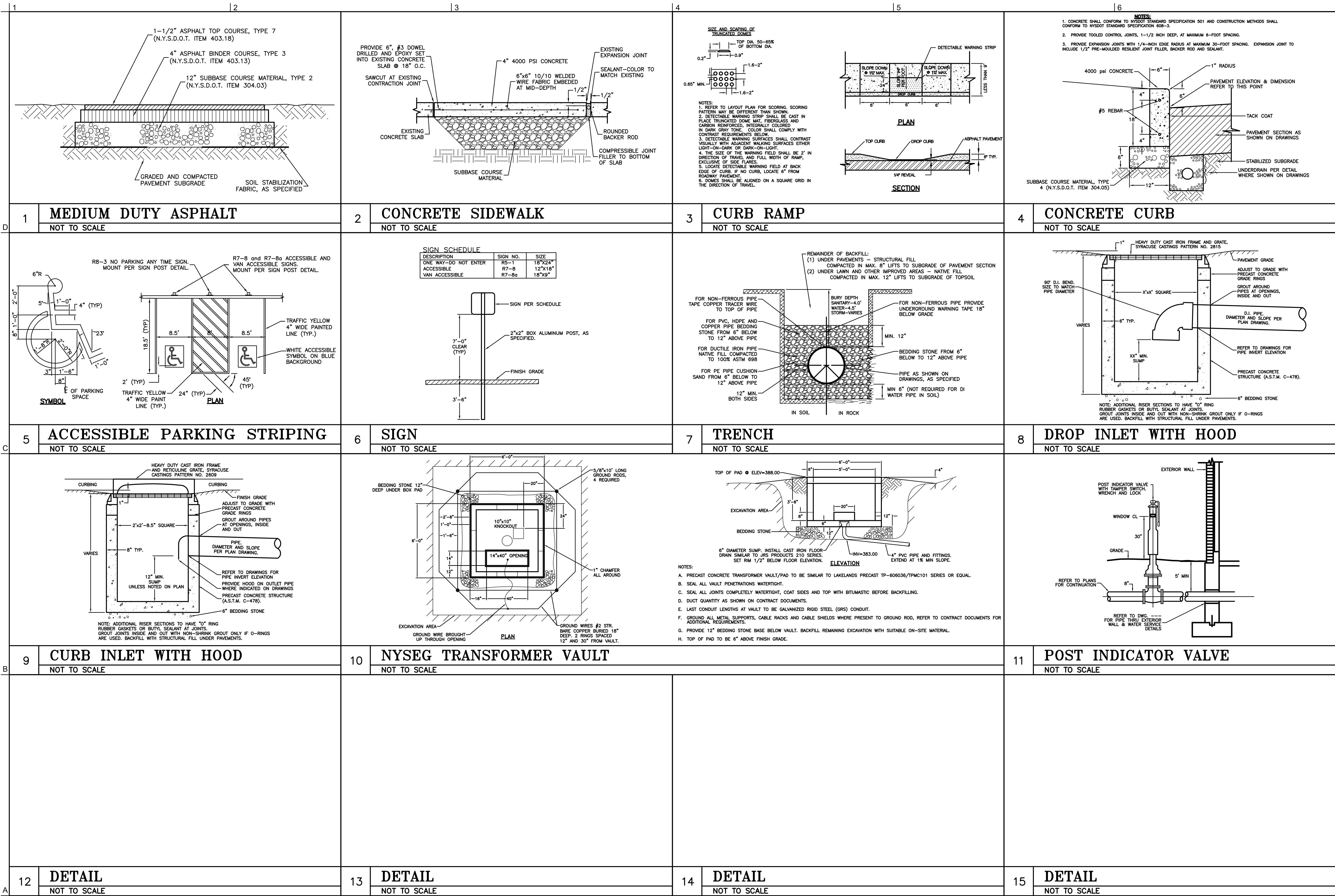
UTILITY PLAN

JSA PROJ # 4401

C104

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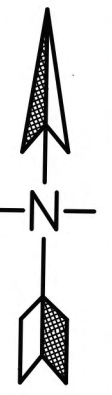
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- | | | | |
|---|--------------------------|---|-------------------------|
|  | Canopy Tree Existing |  | Flowering Tree Existing |
|  | Canopy Tree [P]roposed |  | Woody Mix |
|  | Flowering Tree [P] |  | Fall/Winter Mix |
|  | Small Flowering Tree [P] |  | Summer Mix |
| | |  | Spring Mix |



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ARCHITECTS

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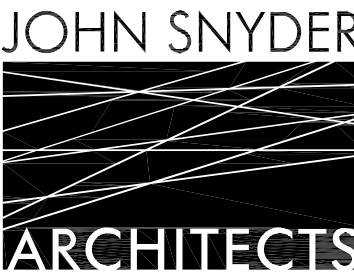
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Ithaca, NY 14850

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Schematic Planting Plan
700 Cascadilla St.

JSA PROJ # 4401

L100



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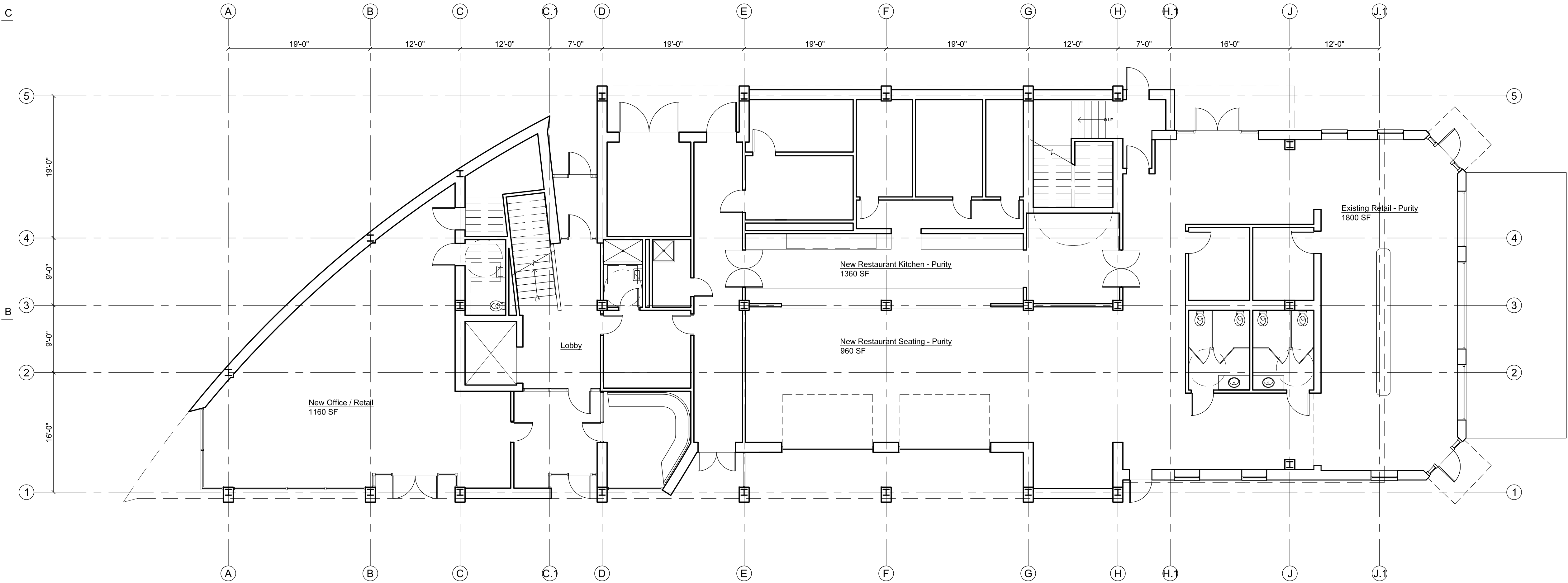
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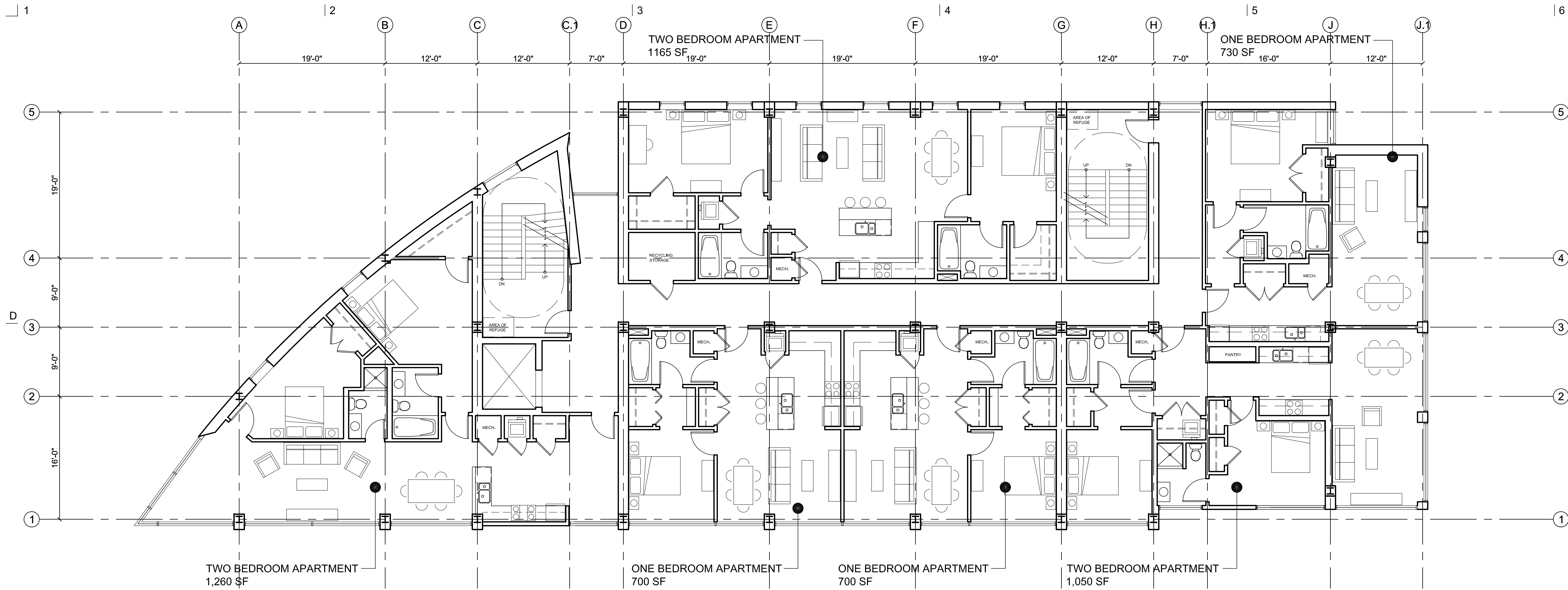
A1 First Floor Plan - 7,434 GSF
1/8" = 1'-0"

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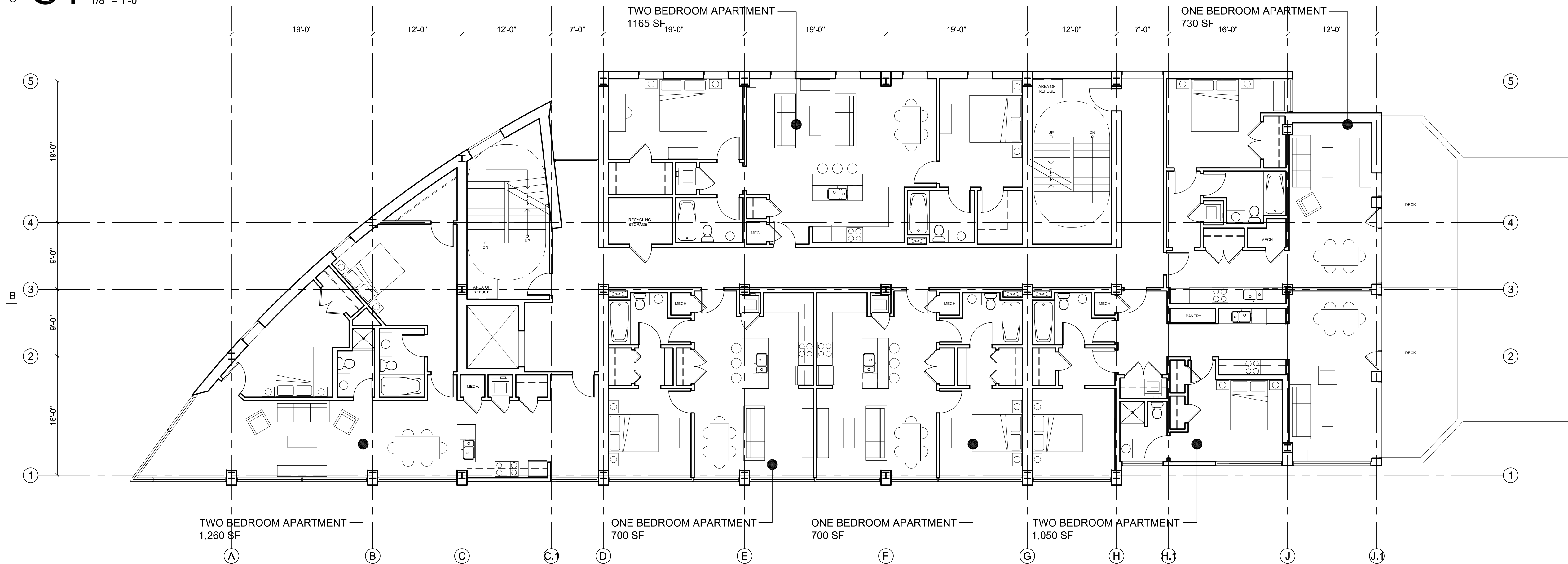
Issue For Submission
May 2, 2013

First Floor Plan

JSA PROJ # 4401



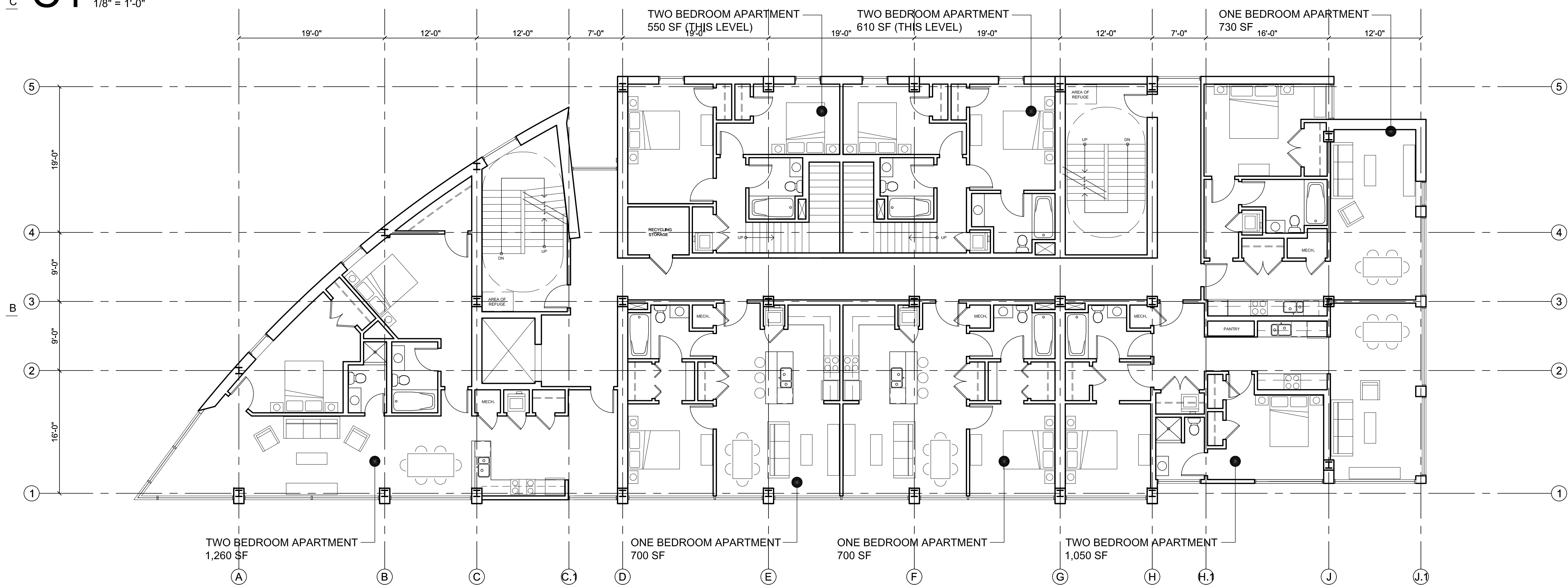
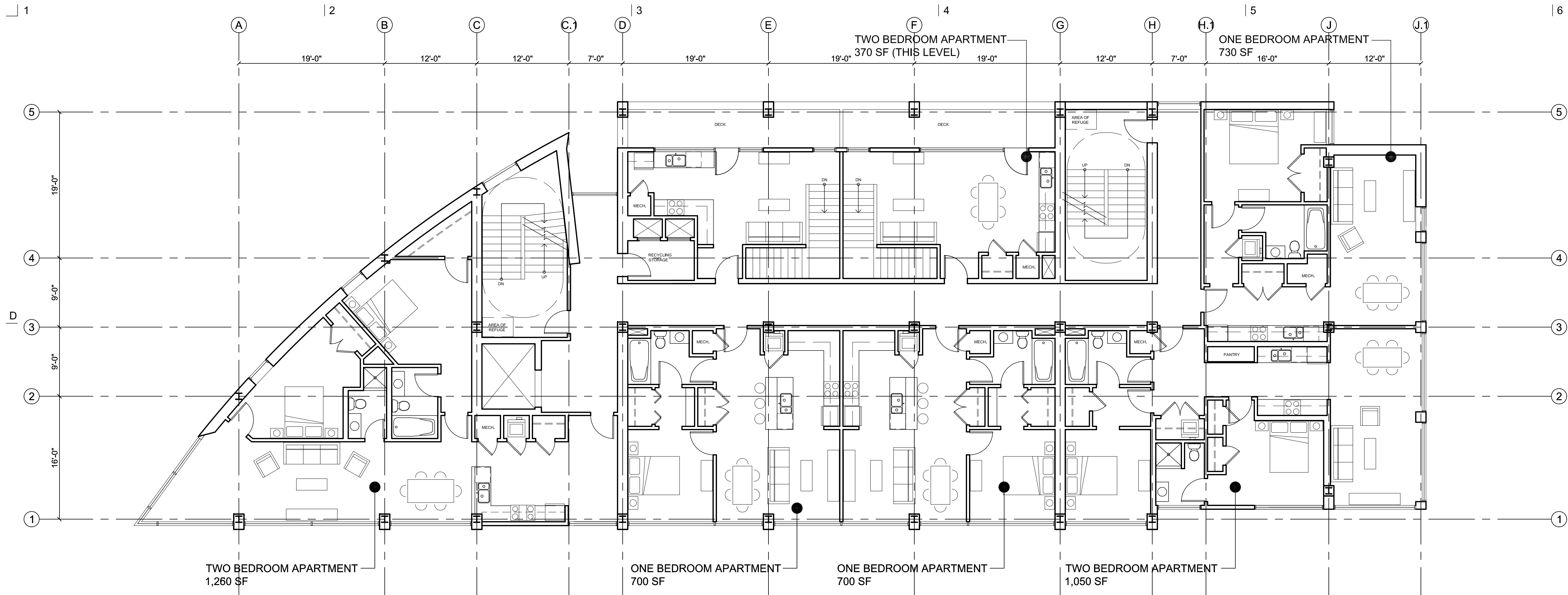
C1 Third Floor Plan - 7,040 GSF
1/8" = 1'-0"



A1 Second Floor Plan - 7,040 GSF
1/8" = 1'-0"

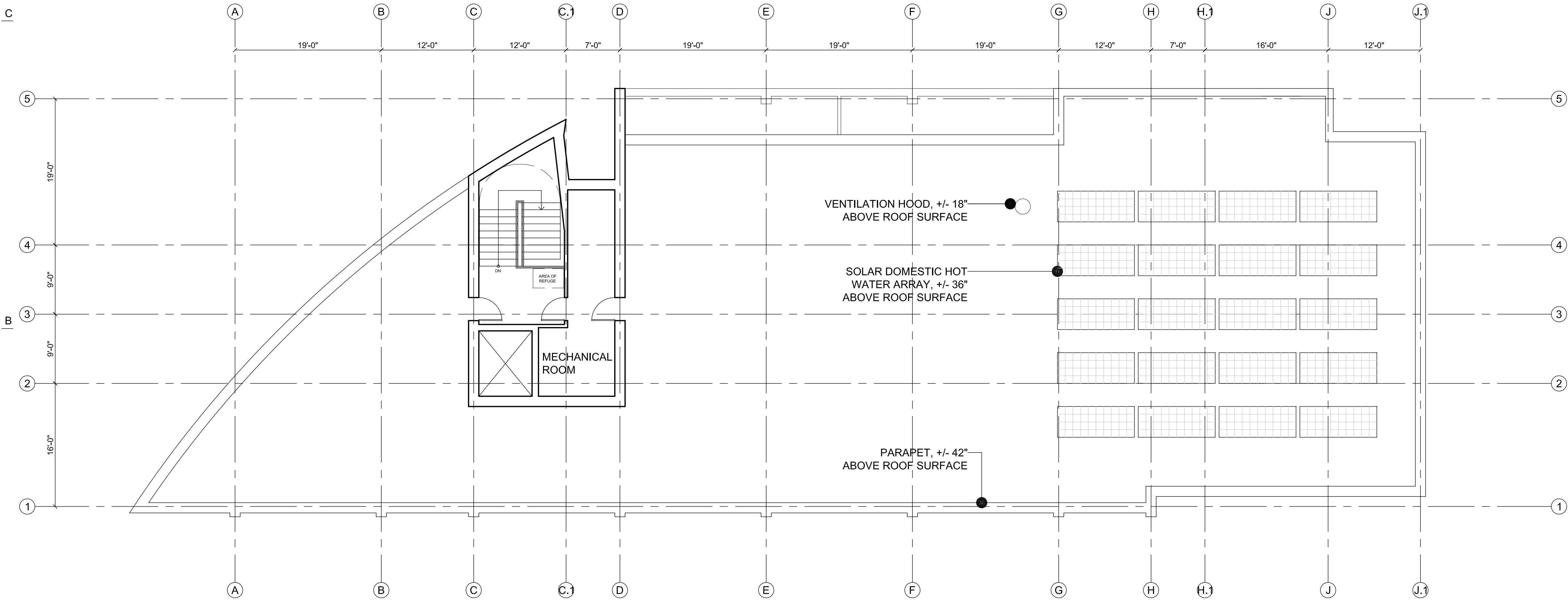
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Elevation Rendering

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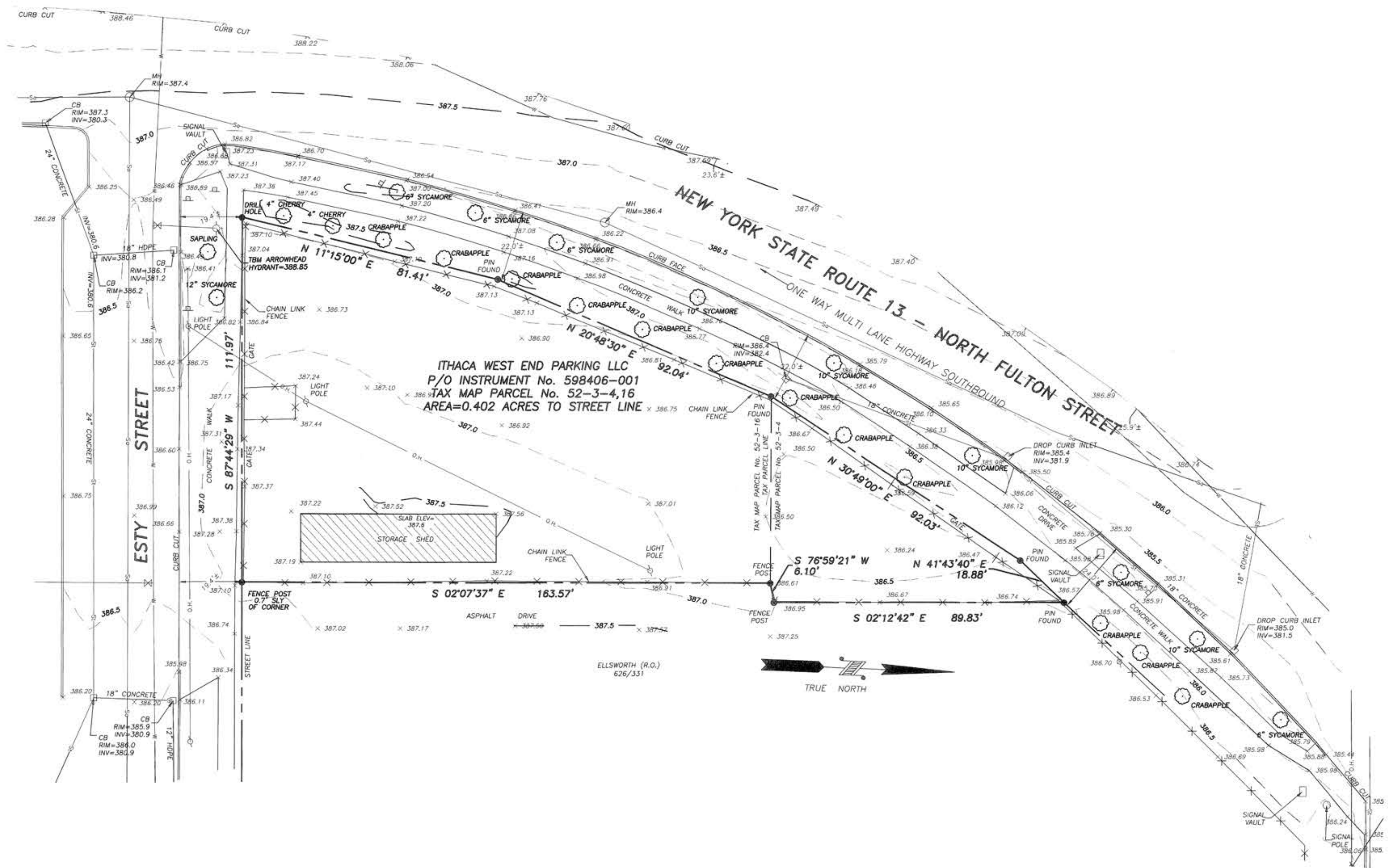
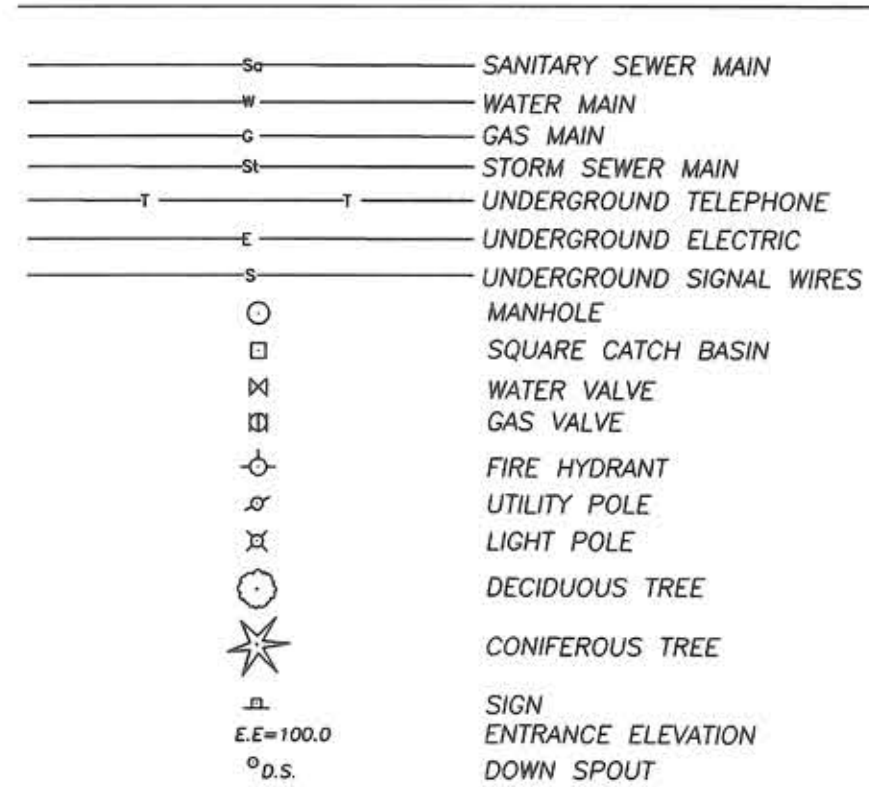
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BOUNDARY AND TOPOGRAPHIC MAP
SHOWING LANDS OF
ITHACA WEST END PARKING LLC
ESTY STREET AND NORTH FULTON STREET
CITY OF ITHACA, TOMPKINS COUNTY, NEW YORK

[illegible]

Warning

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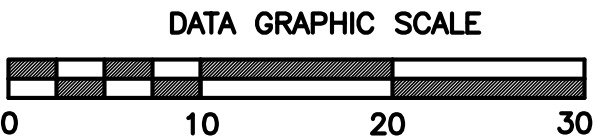


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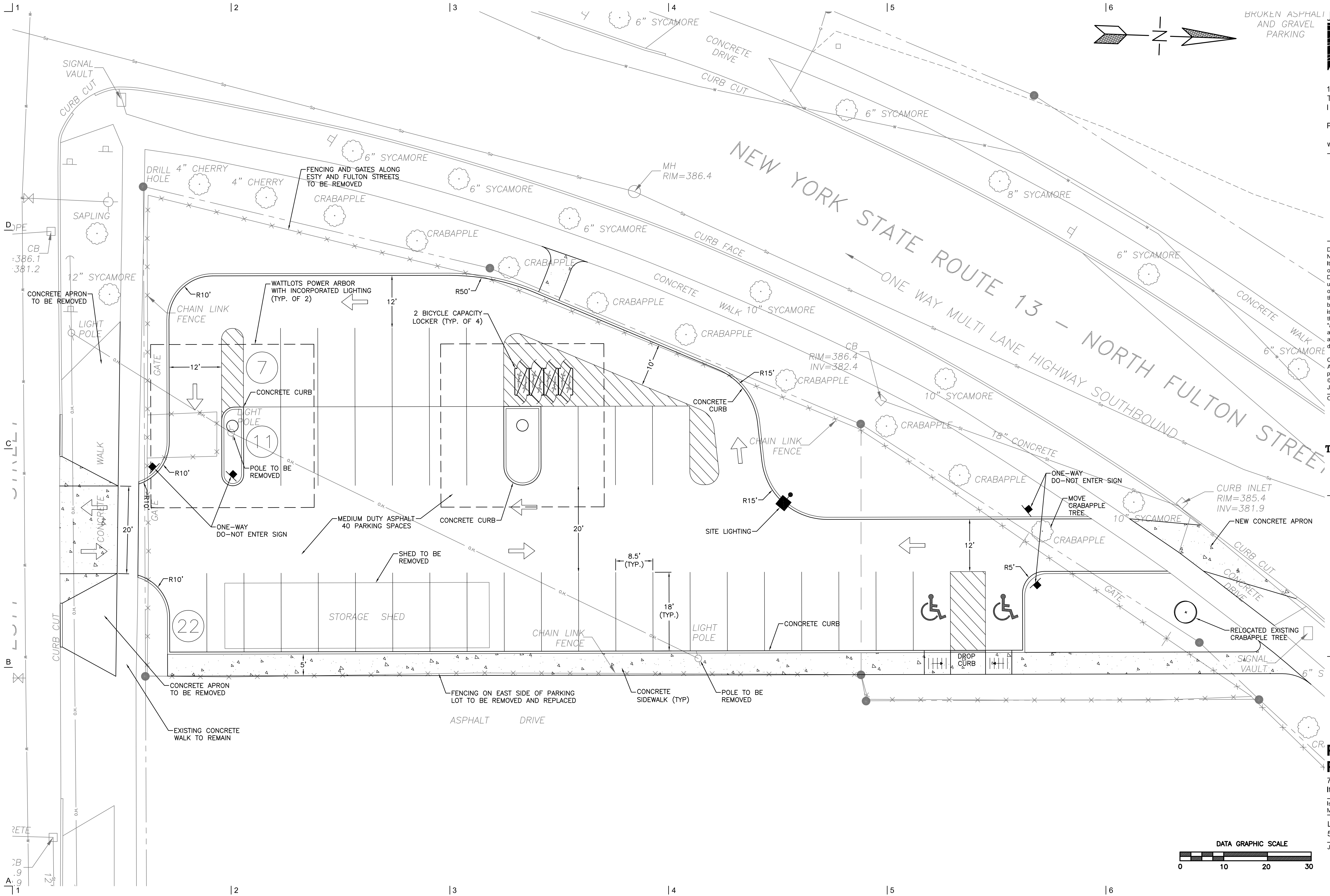
**EROSION & SEDIMENT
CONTROL PLAN
ESTY STREET**

USA PROJ # 4401



FILE: P1E12-40 PURITY REDEVELOPMENTCADD-OFF STREET PARKINGDrawingsC112.dwg

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AND GRAVEL
PARKING

JOHN SNYDER
ARCHITECTS

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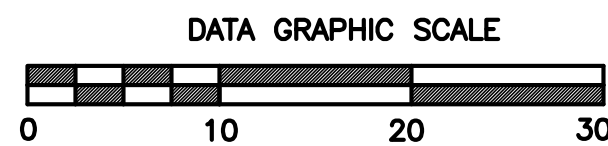
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May 2, 2013

LAYOUT PLAN
555 N. FULTON ST.

JSA PROJ # 4401

C112



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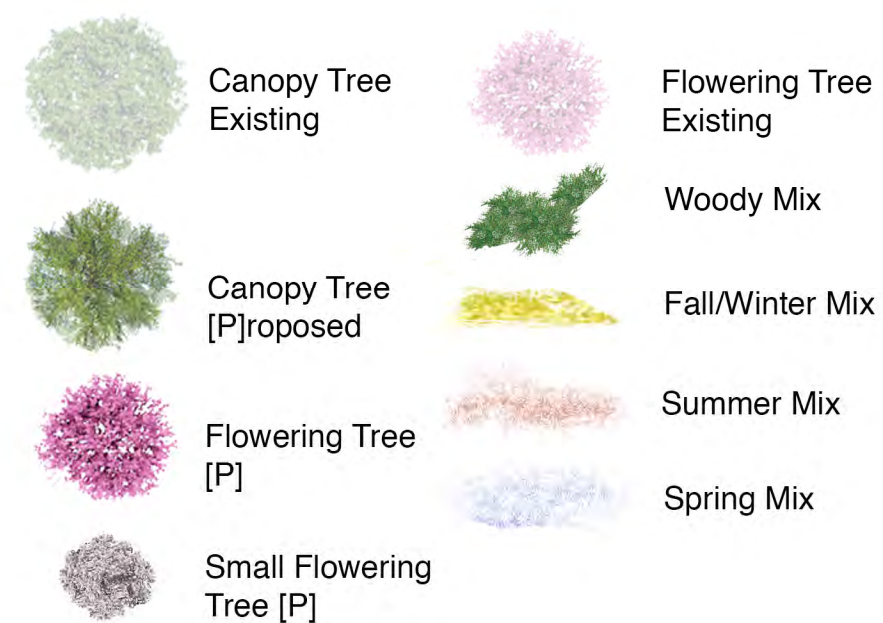
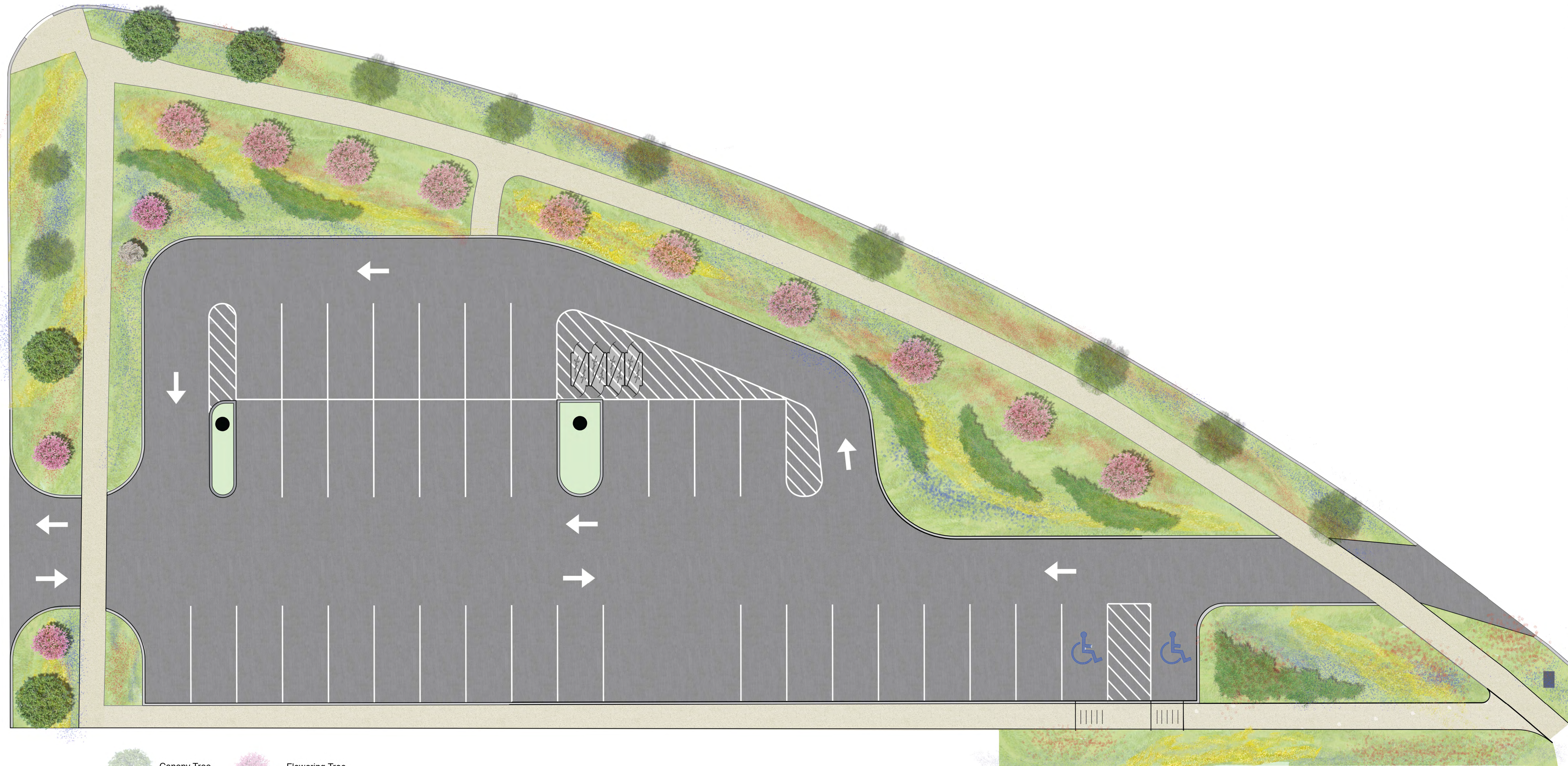
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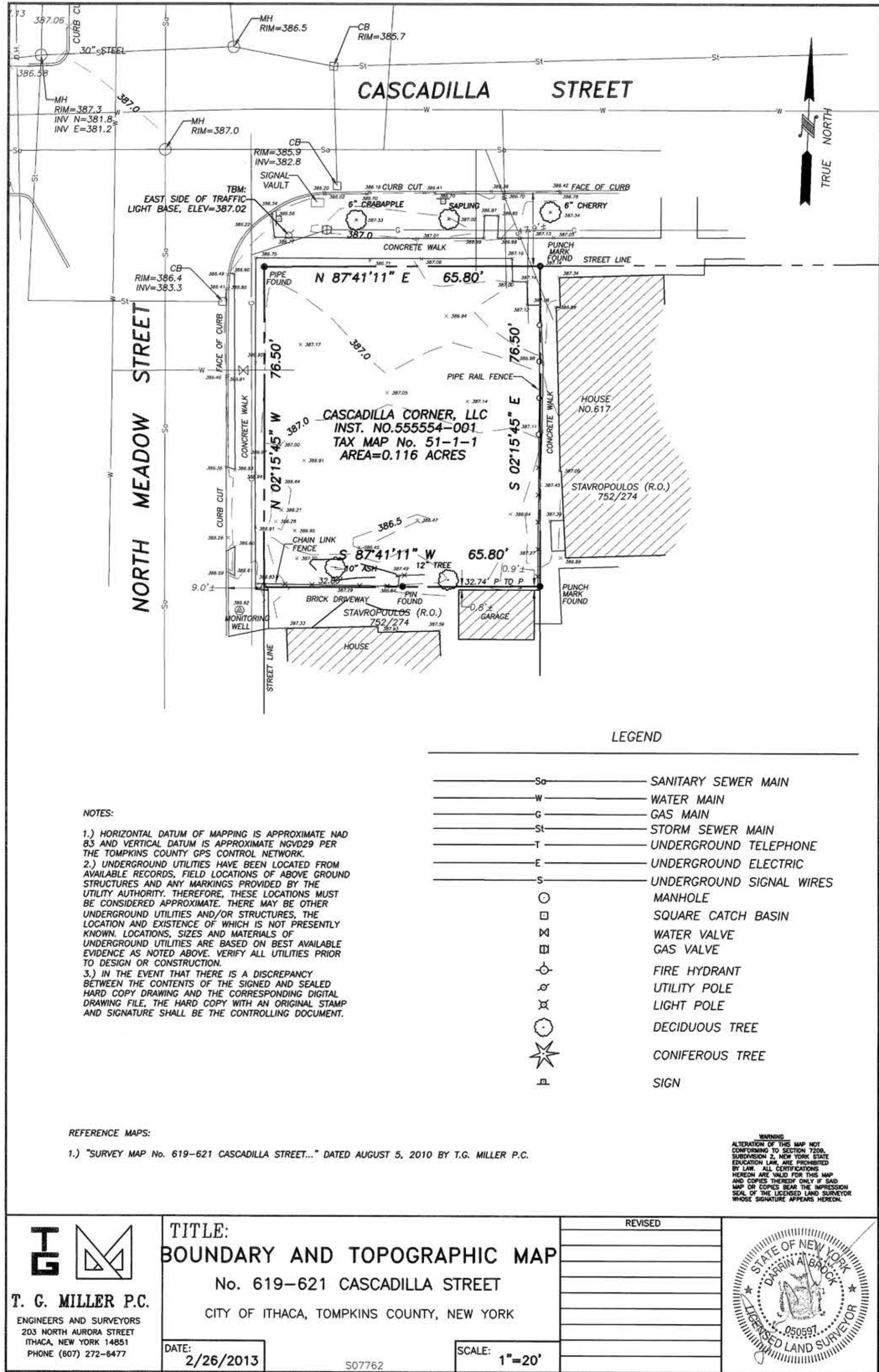
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May 2, 2013

Schematic Planting Plan
555 N. Fulton St.

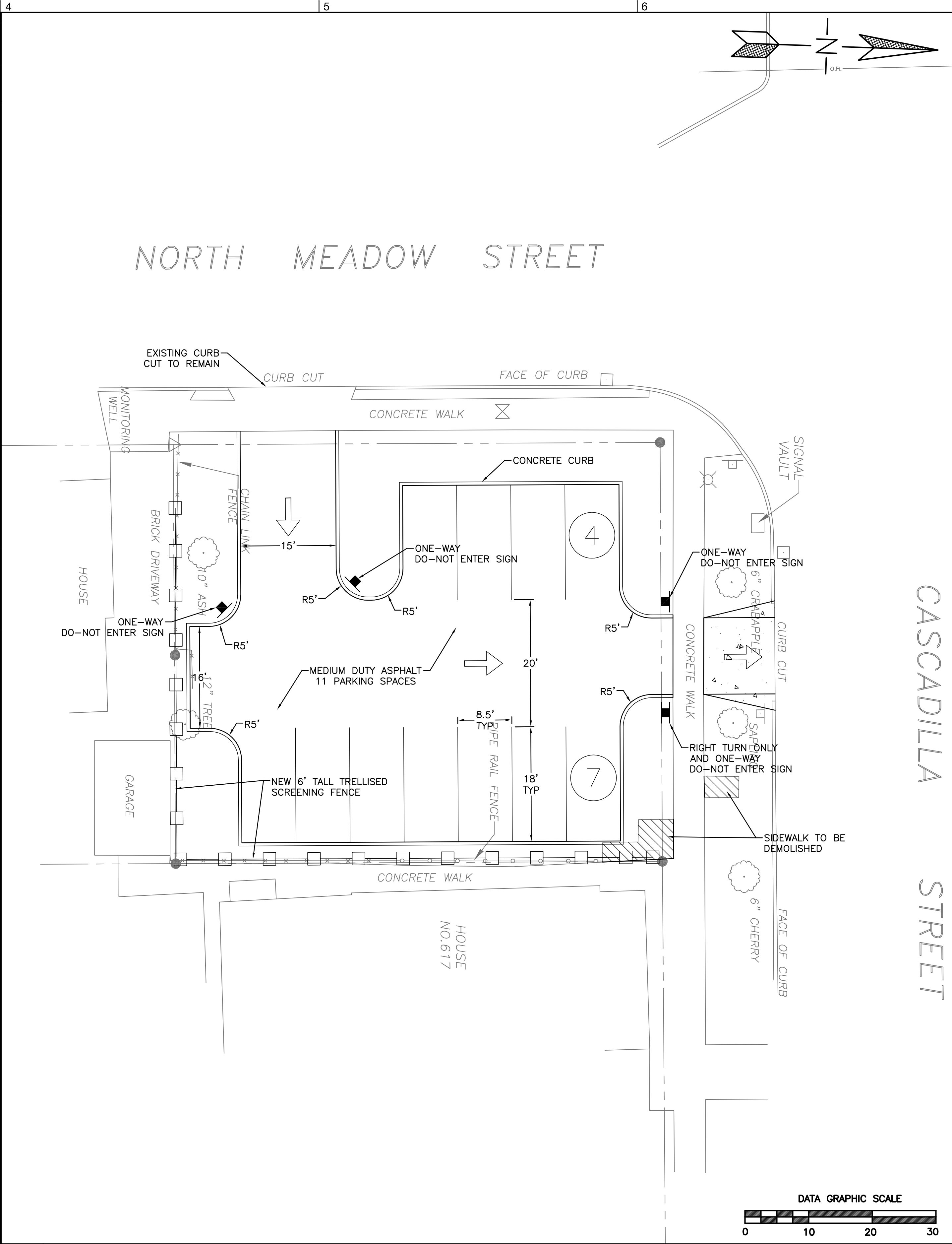
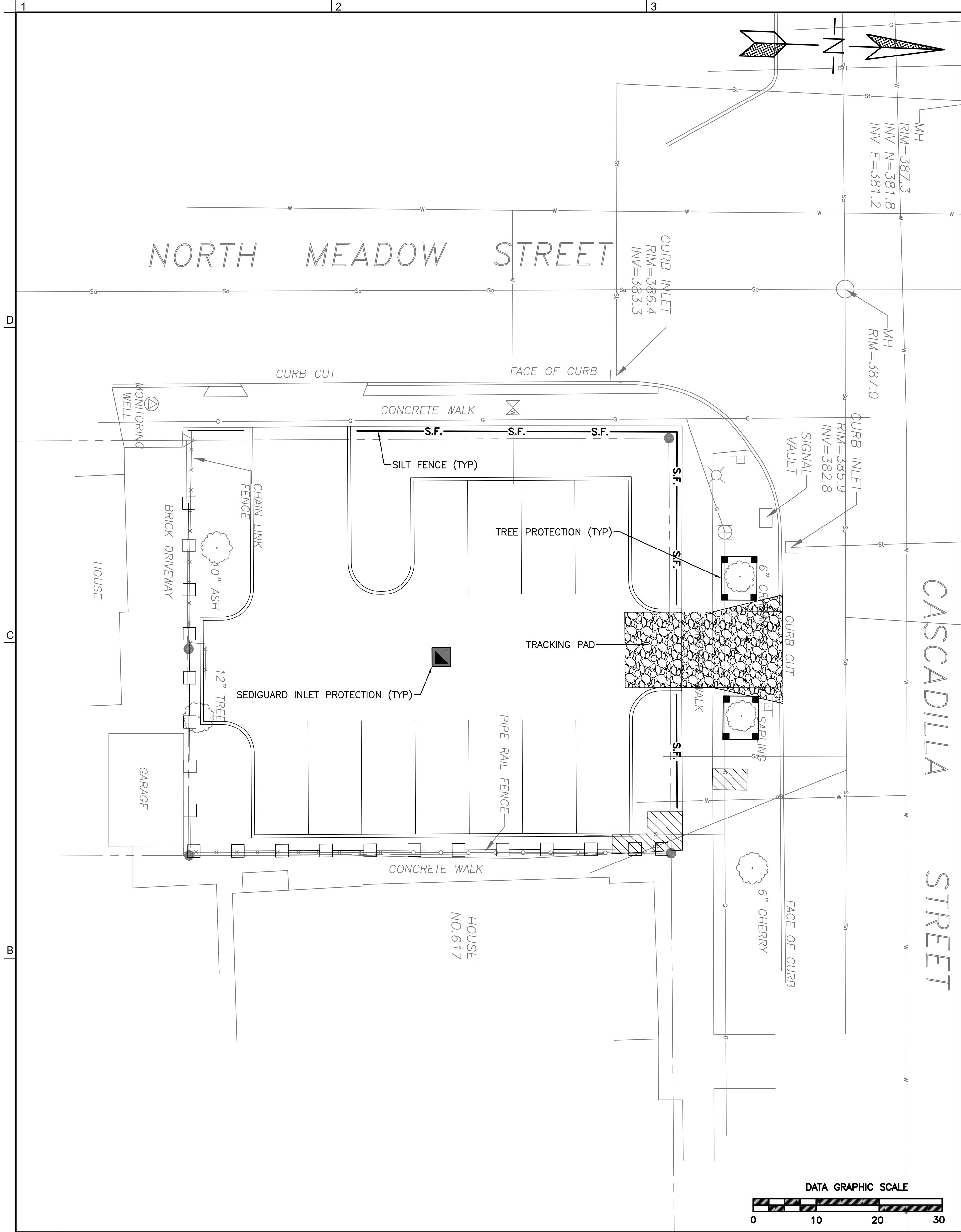
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Canopy Tree



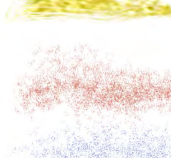
Flowering Tree




Small Flowering Tree




Woody Mix




Fall/Winter Mix




Summer Mix



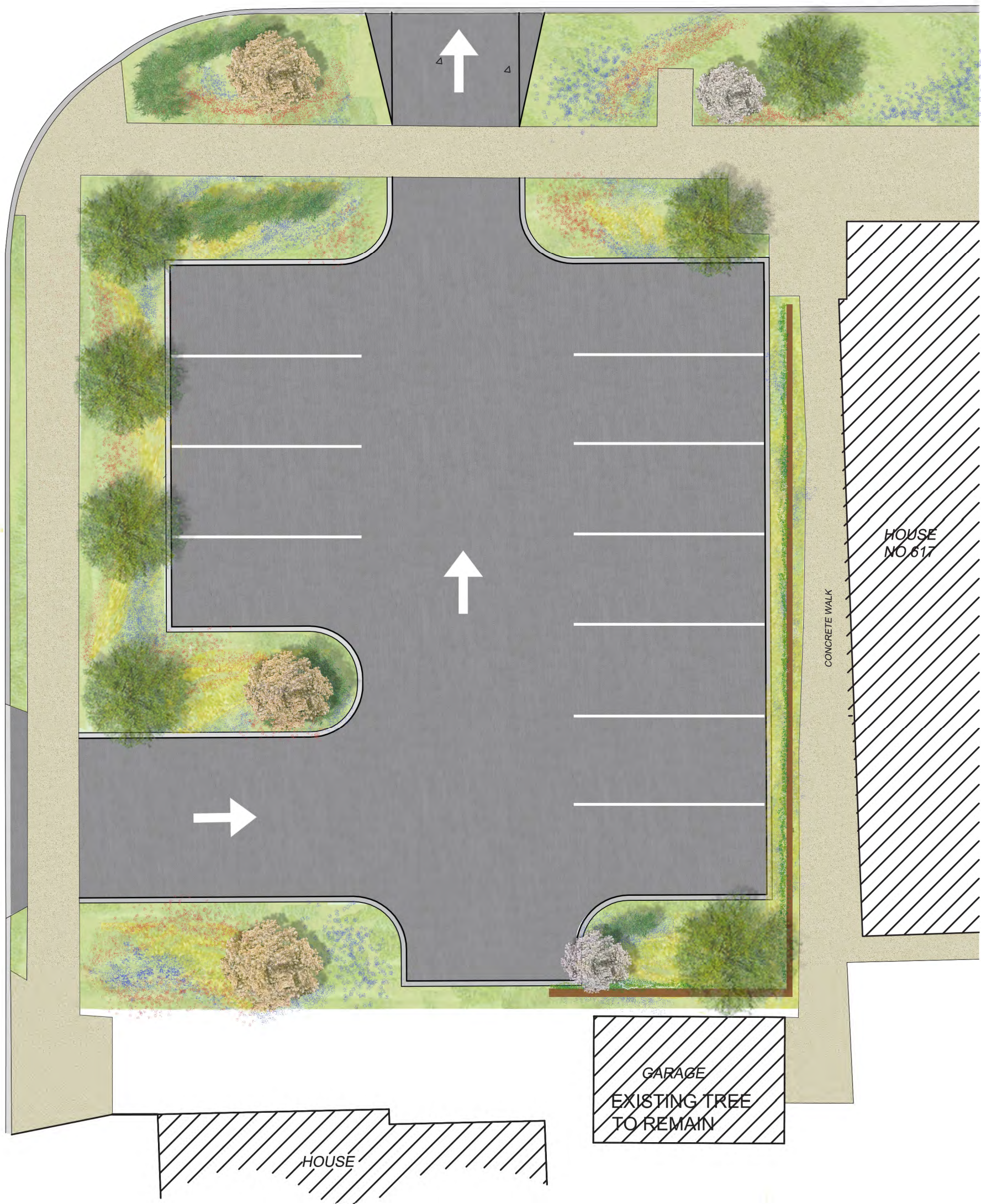
Spring Mix



Cedar Fence



Steel Trellis



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