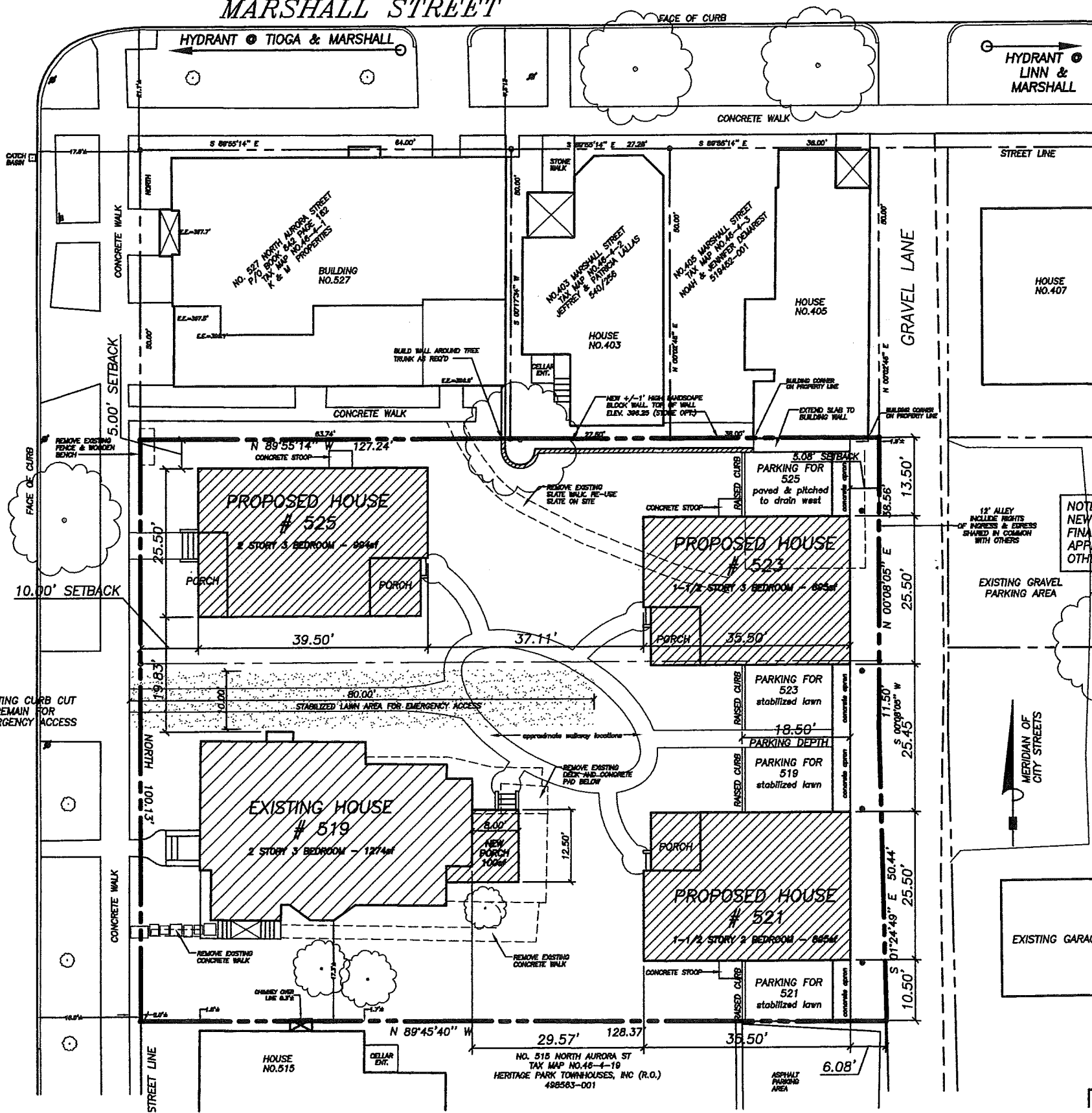


NORTH AURORA STREET

MARSHALL STREET



Zoning Information

ZONE	R2b
MIN. LOT SIZE (1 or 2 FAMILY DWELLING)	3,000sf
STORIES	3
HEIGHT	35'
MAX. LOT COVERAGE	35%
SETBACKS	
FRONT	10'
ONE SIDE AT LEAST	10'
OTHER SIDE AT LEAST	5'
REAR	LESSER OF 25% OR 5'

Site Tabulation

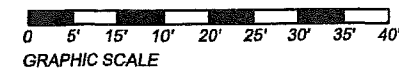
OVERALL SITE AREA	12,784sf
BUILDING AREA	
EXISTING	1,247sf
PROPOSED	2,884sf
TOTAL	4,158sf
LOT COVERAGE	32.5%
ALLOWABLE LOT COVERAGE	35% (4,474sf max.)
USES	
EXISTING DWELLING UNITS	1
PROPOSED DWELLING UNITS	3
TOTAL	4
PARKING	
REQUIRED BY ORDINANCE AT TIME OF ORIGINAL APPLICATION:	4
REQUIRED BY CURRENT ORDINANCE:	0
PROVIDED:	4

NOTE: STREET ADDRESSES SHOWN FOR NEW STRUCTURES ARE PRELIMINARY. FINAL ADDRESSES SUBJECT TO APPROVAL BY POSTAL SERVICE AND OTHER APPROPRIATE AGENCIES.

LEGEND

- EXISTING TREE
- NEW TREE
- TREE TO BE REMOVED
- EXISTING BUILDING
- PROPOSED BUILDING
- STABILIZED GRASS PAVING AREA NO SHRUBS, TREES OR RAISED LANDSCAPE STRUCTURES ALLOWED
- UTILITY POLE
- CONCRETE PAVER WALK MINIMUM 3' WIDE, SET IN 6" CRUSHED STONE WITH GRASS OR GRAVEL BETWEEN PAVERS

THIS PLAN WAS BASED ON A SURVEY OF THE EXISTING SITE CONDITIONS BY T.G. MILLER P.C. DATED 2/26/09



RECEIVED
AUG 14 2012
DEPARTMENT OF PLANNING & DEVELOPMENT

New Earth Living LLC

rev: 7.27.2012
rev: 8.8.2012

Site Layout Plan

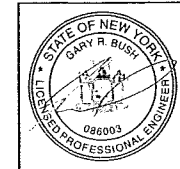
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Aurora Pocket Neighborhood
519-525 North Aurora Street, Ithaca NY 14850

519 North Aurora Street
Ithaca, New York 14850

rev: 7.1.2012

date: 7.1.2012



New Earth Living LLC
519 North Aurora Street Ithaca, New York 14850

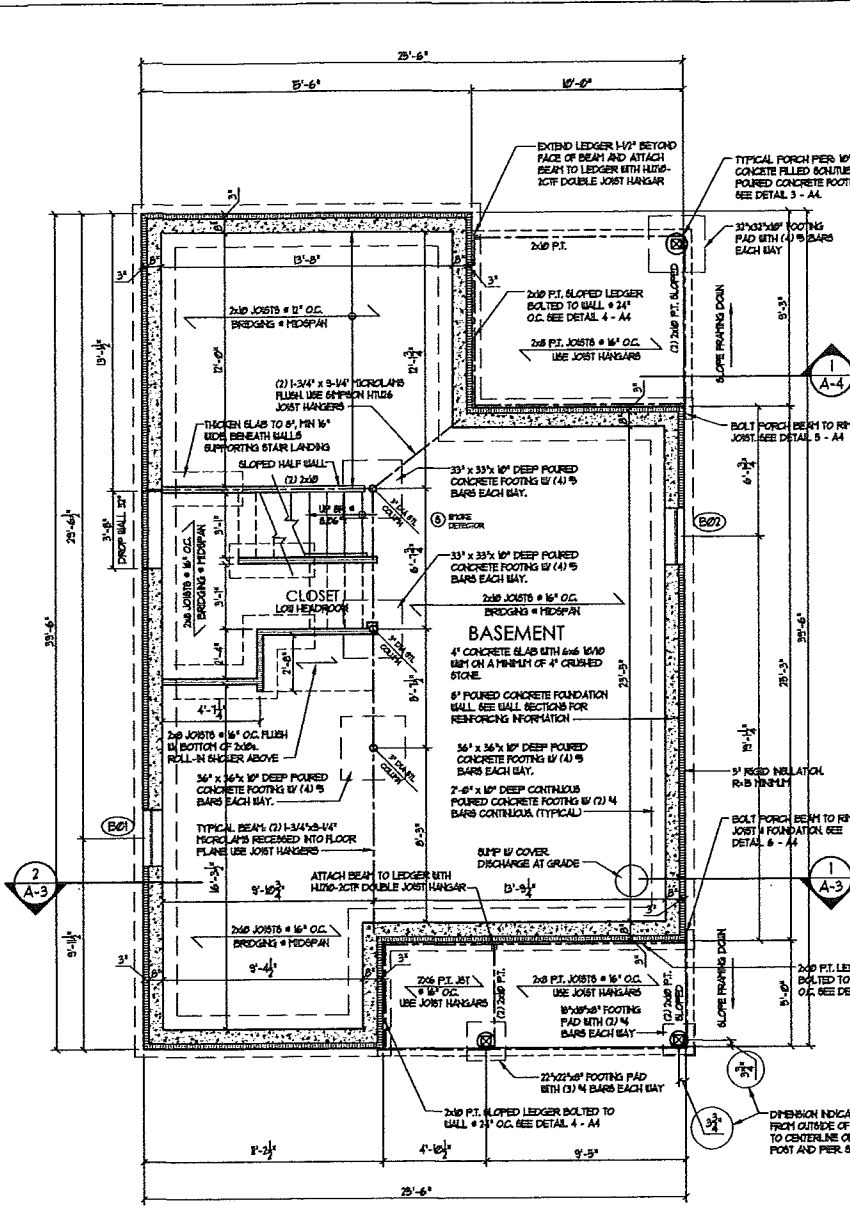
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revision: 7.1.2012

date: 3.23.2012
drawn by: RFM

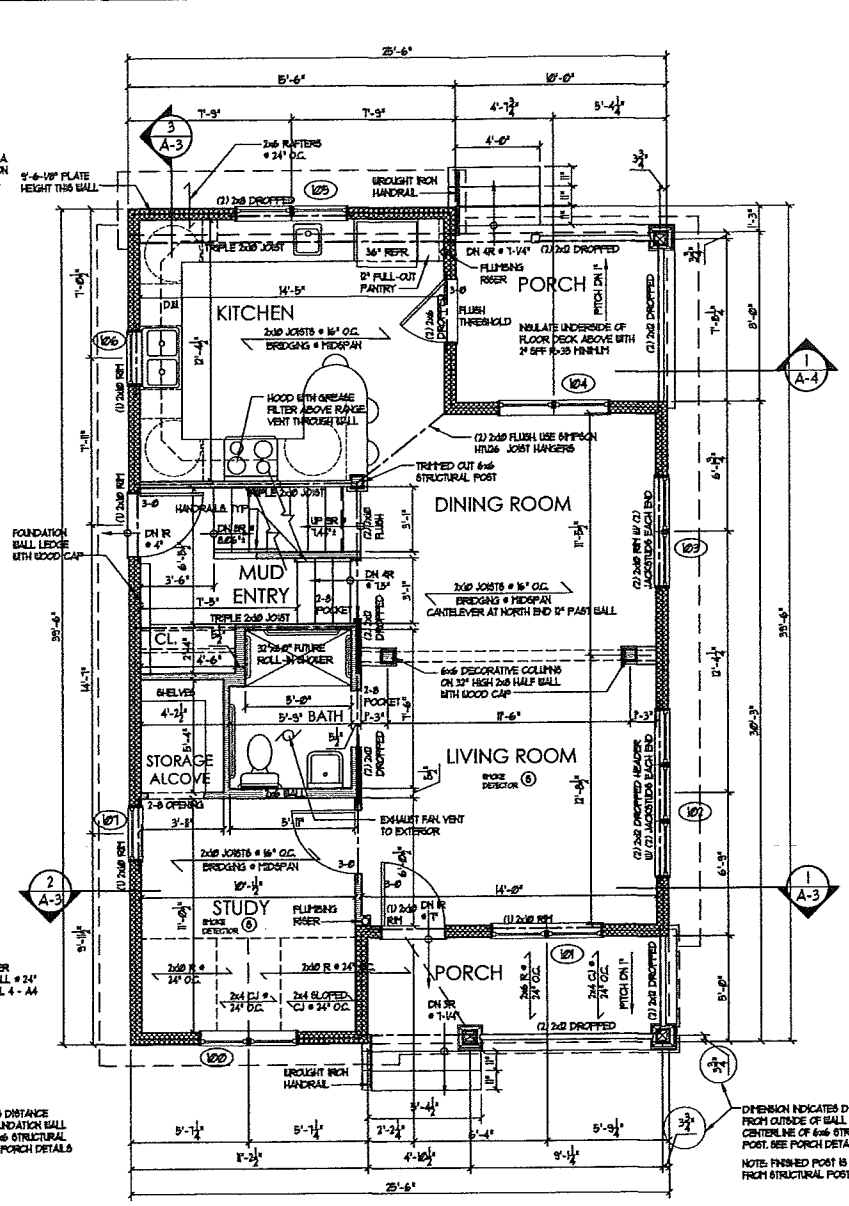
scale: 1/4" = 1'-0"
Ziegler Residence

Aurora Pocket Neighborhood
525 North Aurora Street, Ithaca NY 14850

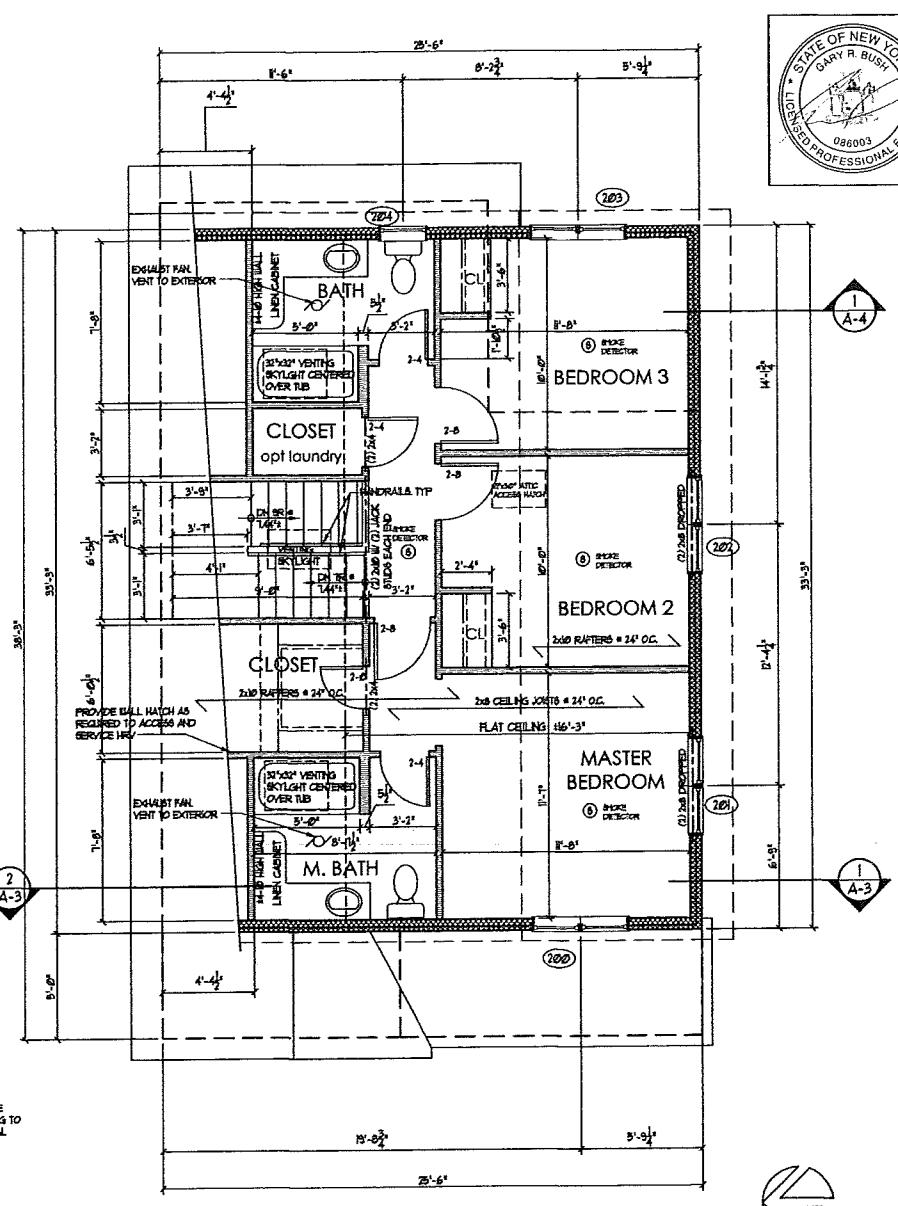
A-1



Basement Floor Plan



First Floor Plan



Second Floor Plan

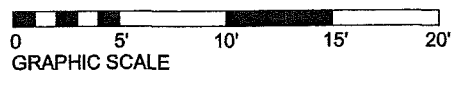
NOTE: ALL FASTENERS AND HANGERS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE DOUBLE HOT DIP GALVANIZED, STAINLESS STEEL, OR OTHERWISE RATED FOR USE WITH P.T. LUMBER.

LIGHT AND VENTILATION CHART					
HABITABLE ROOM	RM AREA	REQUIRED SF. LIGHT	REQUIRED SF. VENT	PROVIDED SF. LIGHT	PROVIDED SF. VENT
LIVING ROOM	111	1420	110	1620	1620
DINING ROOM	96	1280	83	1440	2500
STUDY	72	960	430	1080	1230
KITCHEN	111	1420	110	1080	116
MASTER BEDROOM	108	1440	540	2030	1120
BEDROOM 2	84	1120	440	1440	1640
BEDROOM 3	84	1120	440	1440	1640

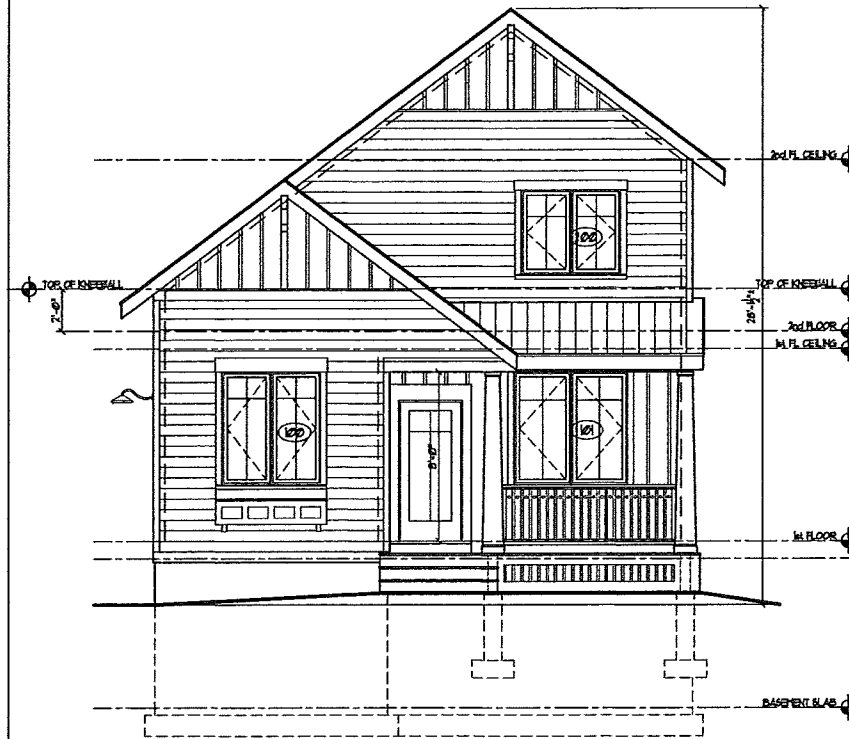
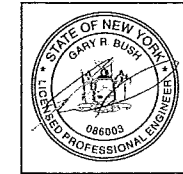
PLAN NOTES:
- ALL INTERIOR PARTITION WALLS ASSUMED TO BE 3-1/2" THICK; 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO ROUGH FRAMING.
- UNLESS A HEADER IS NOTED AS "DROPPED", THE RIM JOIST ACTS AS THE HEADER ABOVE OPENINGS IN EXTERIOR WALLS. ON THE FIRST FLOOR USE JOIST HANGERS TO FASTEN FLOOR JOISTS TO RIM JOIST ABOVE ALL OPENINGS, SO THAT RIM JOIST CARRIES LOAD. FOR WINDOW OPENINGS LESS THAN 30" WIDE, NO HANGER IS NECESSARY. USE (5) 10d COMMON NAILS END NAILED INTO FLOOR JOIST AND ENSURE DOUBLE TOP FLATE IS USED BELOW.
- CLOSETS TO BE SCREENED BY DOORS OR CURTAIN AT OWNER'S OPTION. INSTALL ROD AND SHELF TYPICAL.

WINDOW SCHEDULE - 525 N. AURORA												
NO.	LOCATION	TYPE	FRAME SIZE (W x H)	R.O. HEAD HT	OPERATION	INT. FIN	HLDR	COLOR	SPRINK	ORIENTATION	EGRESS	
B01	BASEMENT	HOPPER	7'-1-1/2" x 7'-3-1/2"	TOP OF CONC. WALL	STANDARD	WHITE	WHITE	BAND	YES	NORTH		
B02	BASEMENT	HOPPER	7'-1-1/2" x 7'-3-1/2"	TOP OF CONC. WALL	STANDARD	WHITE	WHITE	BAND	YES	SOUTH		
100	STUDY	DOUBLE CASSET	(2) 2'-4" x 8'-4"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	WEST	YES	
101	LIVING ROOM	DOUBLE CASSET	(2) 2'-0" x 5'-4"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	WEST	YES	
102	LIVING ROOM	TRIPLE CASSET	(2) 2'-0" x 5'-4"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	YES	
103	DINING ROOM	DOUBLE CASSET	(2) 2'-0" x 5'-4"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	YES	
104	DINING ROOM	DOUBLE CASSET	(2) 2'-0" x 5'-4"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	EAST	YES	
105	KITCHEN	DOUBLE CASSET	(2) 2'-0" x 4'-0"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	EAST	YES	
106	KITCHEN	CASSET	7'-0" x 8'-0"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	NORTH	YES	
107	STUDY	CASSET	2'-4" x 4'-0"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	NORTH	YES	
200	M. BEDROOM	DOUBLE CASSET	(2) 2'-4" x 4'-0"	6'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	WEST	YES	
201	M. BEDROOM	DOUBLE CASSET	(2) 2'-4" x 4'-0"	6'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	YES	
202	BEDROOM	DOUBLE CASSET	(2) 2'-4" x 4'-0"	6'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	YES	
203	BEDROOM	DOUBLE CASSET	(2) 2'-4" x 4'-0"	6'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	EAST	YES	
204	BATH	AWING	2'-0" x 2'-0"	8'-5-1/2"	STANDARD	WHITE	WHITE	BAND	-	EAST	YES	

WINDOW NOTES:
- ALL SOUTH WINDOWS TO BE SHADED IN SUMMER BY OVERHANGS OR APPLIED TRELLISES, AS NEEDED.
- ALL WINDOWS TO BE FITTED WITH TRIPLE LOW-E GLAZING U-VALUE = 22.
- ALL WINDOWS TO HAVE MAILING FLANGE.
- HEAD HEIGHTS VARY. NOTE HEAD HEIGHTS IN SCHEDULE AND ON ELEVATIONS.
- HEAD HEIGHTS INDICATED ARE MEASURED FROM FINISHED FLOOR DECK.
- ROUGH OPENING DIMENSIONS ASSUMED TO BE FRAME DIMENSION PLUS 1/2". VERIFY WITH SELECTED WINDOW MANUFACTURER.



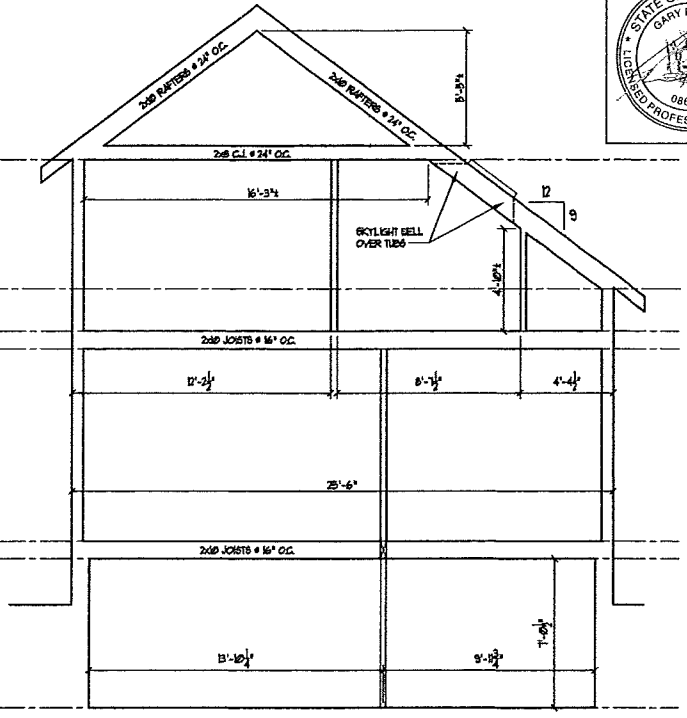
footprint = 994sf
1st floor = 842sf
2nd floor = +/- 706sf
total = 1548



West Elevation (Facing Aurora Street)

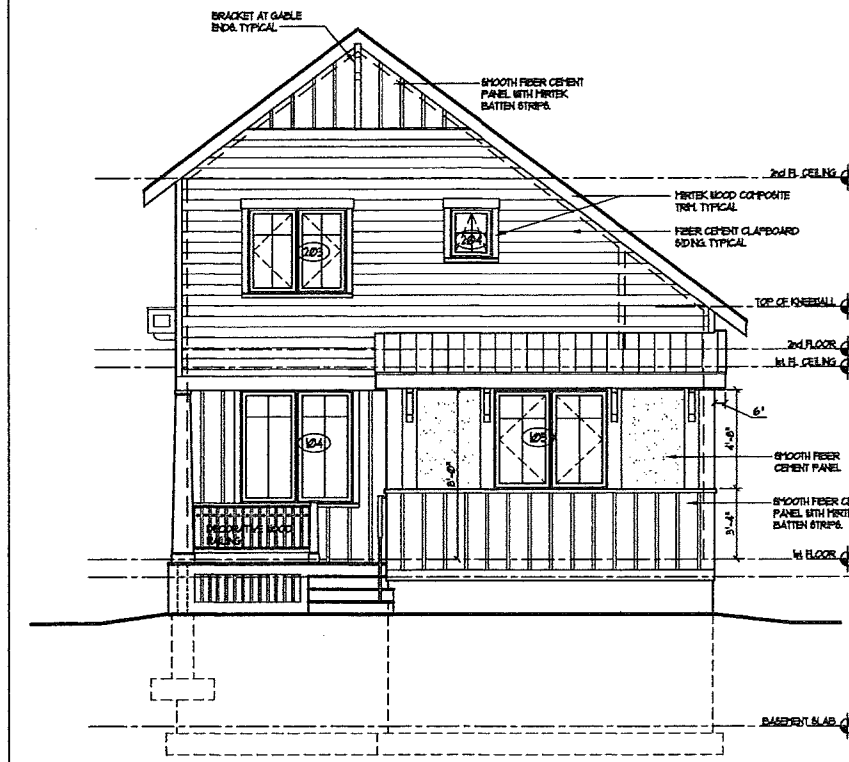


South Elevation



Schematic Building Section

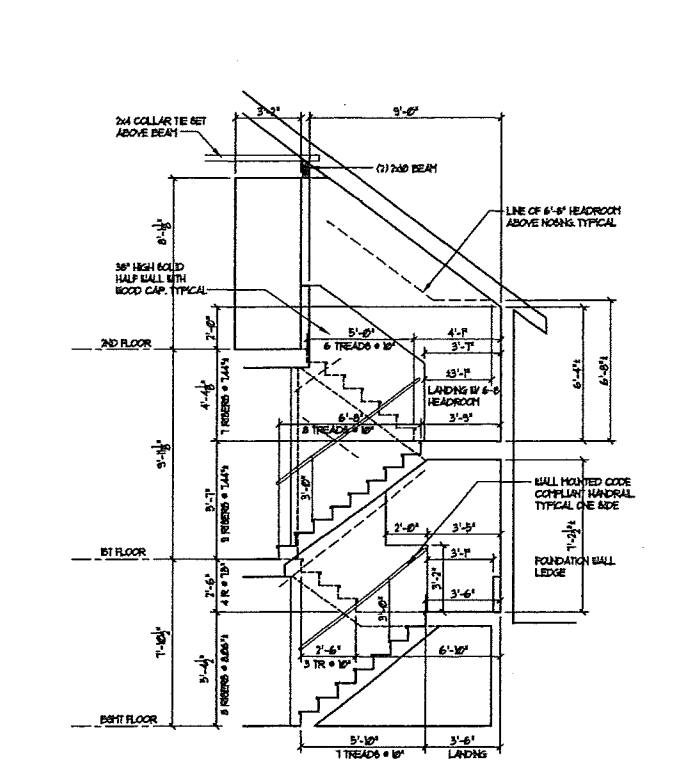
ALL PORCHES, IT IS THE DESIGN INTENT TO ALIGN THE TOP OF DECORATIVE RAILINGS WITH ADJACENT WINDOW SILL. THIS RESULTS IN RAILINGS LESS THAN 36". DURING FINISH GRADING, MAINTAIN LESS THAN A 30" DROP FROM PORCH FLOOR TO GRADE.



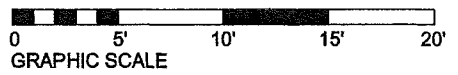
East Elevation



North Elevation



Schematic Stair Section



New Earth Living LLC
519 North Aurora Street Ithaca, New York 14850

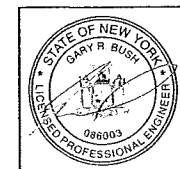
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revision: 6.5.2012
revision: 6.25.2012
revision: 7.1.2012

date: 3.23.2012

scale: 1/4" = 1'-0"
drawn by: RFM

Aurora Pocket Neighborhood Ziegler Residence

525 North Aurora Street, Ithaca NY 14850



New Earth Living LLC

519 North Aurora Street Ithaca, New York 14850

revision: 5.3.2012
 revision: 6.5.2012
 revision: 6.25.2012
 revision: 7.1.2012

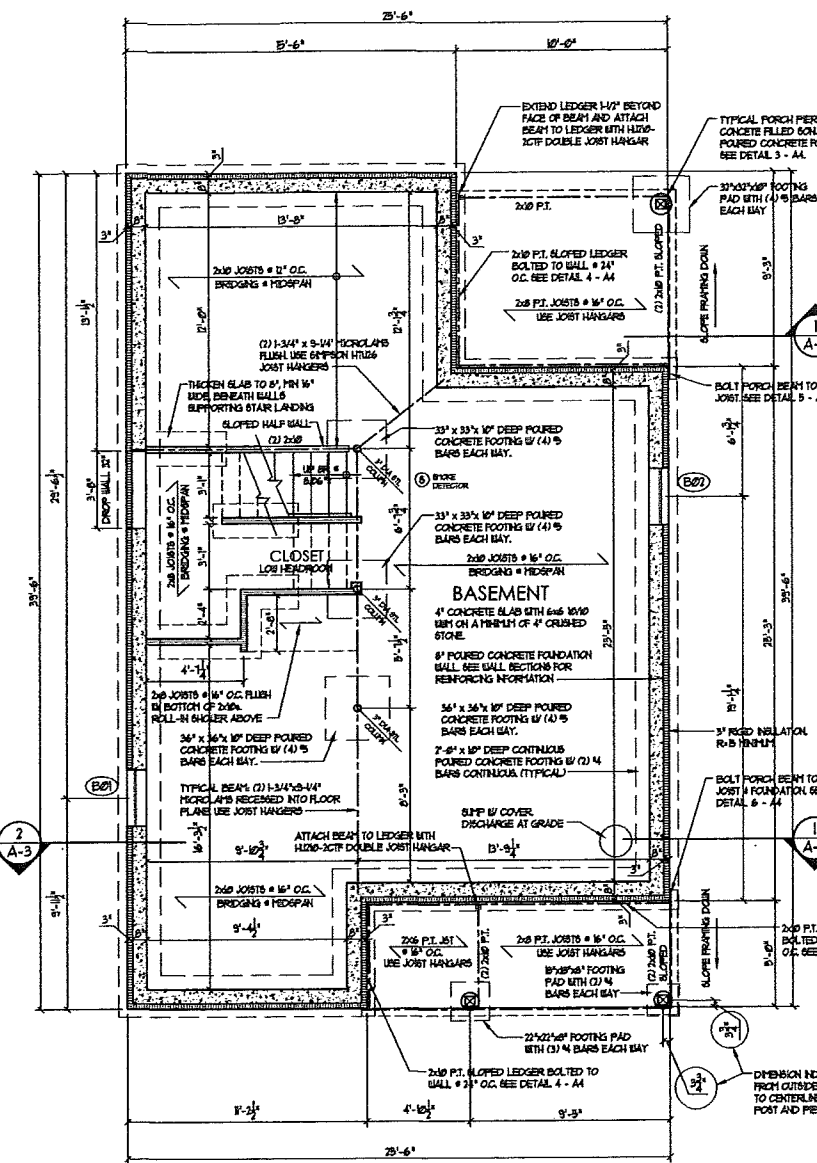
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Aurora Pocket Neighborhood

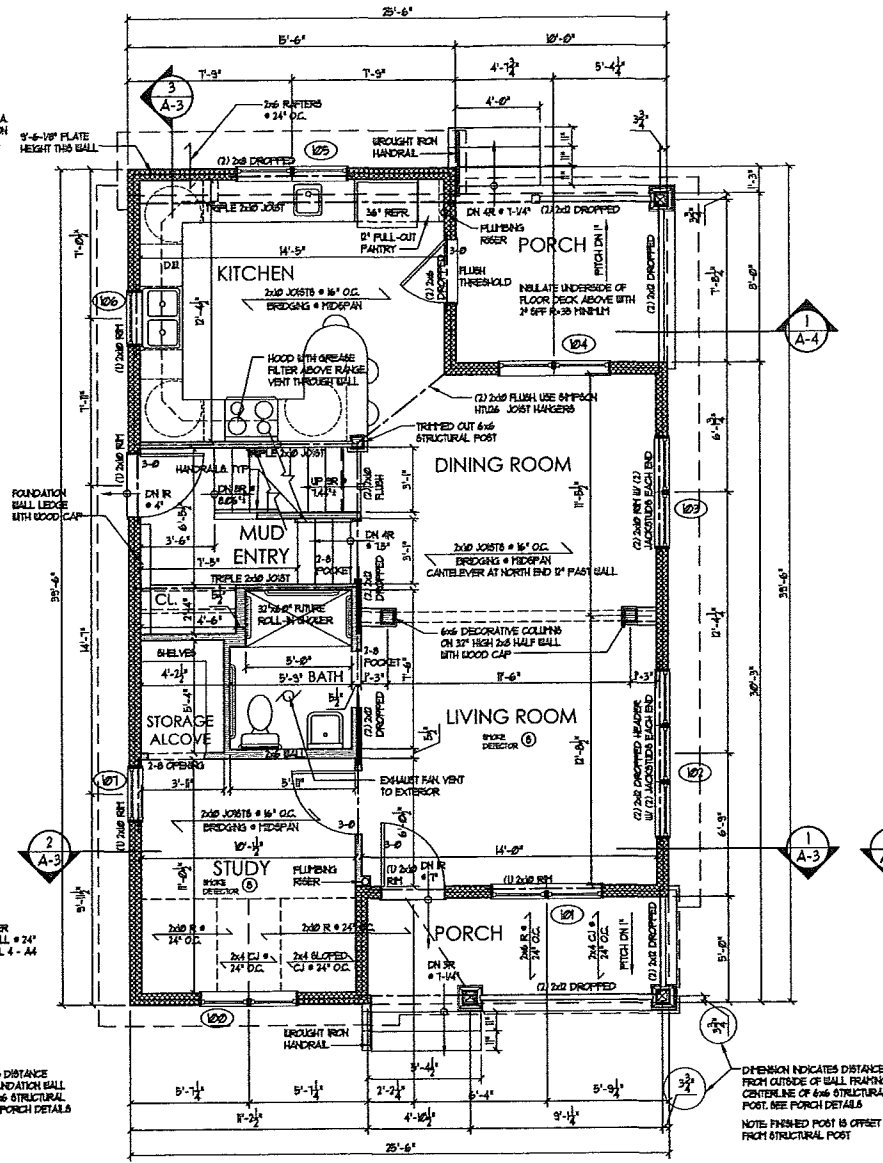
525 North Aurora Street, Ithaca NY 14850

A-1



Basement Floor Plan

NOTE: ALL FASTENERS AND HANGERS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE DOUBLE HOT DIP GALVANIZED, STAINLESS STEEL, OR OTHERWISE RATED FOR USE WITH P.T. LUMBER.

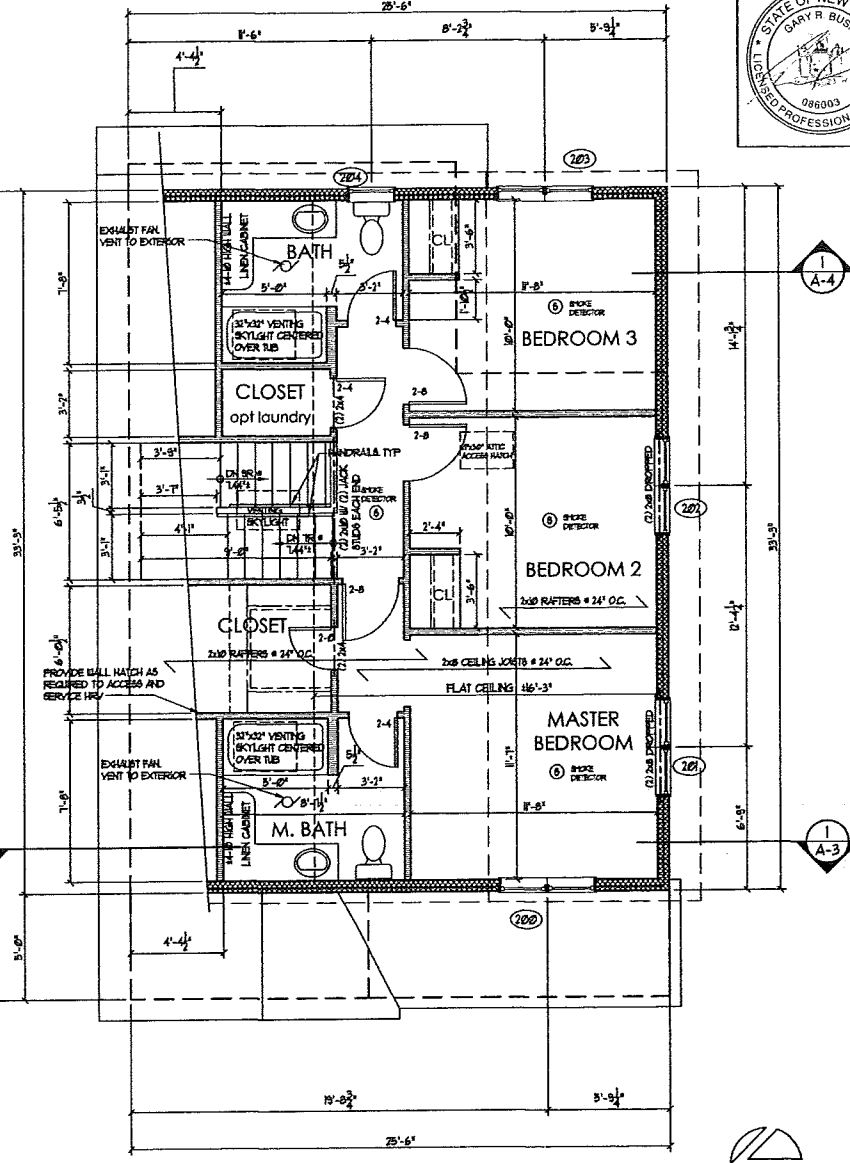


First Floor Plan

HABITABLE ROOM	RM AREA	REQUIRED SF.		PROVIDED SF.	
		LIGHT	VENT	LIGHT	VENT
LIVING ROOM	171	1420	130	1620	3160
DINING ROOM	86	1230	130	1460	2500
STUDY	71	1200	150	1060	3230
KITCHEN	111	1420	130	1060	3330
MASTER BEDROOM	103	1060	140	2930	3320
BEDROOM 2	76	930	140	1160	1860
BEDROOM 3	76	930	140	1160	1860

PLAN NOTES:

- ALL INTERIOR PARTITION WALLS ASSUMED TO BE 3-1/2" THICK 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO ROUGH FRAMING.
- UNLESS A HEADER IS NOTED AS "DROPPED", THE RIM JOIST ACTS AS THE HEADER ABOVE OPENINGS IN EXTERIOR WALLS ON THE FIRST FLOOR. USE JOIST HANGERS TO FASTEN FLOOR JOISTS TO RIM JOIST ABOVE ALL OPENINGS, SO THAT RIM JOIST CARRIES LOAD. FOR WINDOW OPENINGS LESS THAN 30" WIDE, NO HANGER IS NECESSARY. USE (5) 10d COMMON NAILS END NAILED INTO FLOOR JOIST AND ENSURE DOUBLE TOP PLATE IS USED BELOW.
- CLOSETS TO BE SCREENED BY DOORS OR CURTAIN AT OWNER'S OPTION. INSTALL ROD AND SHELF TYPICAL.

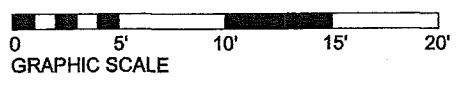


Second Floor Plan

WINDOW SCHEDULE - 525 N. AURORA											
NO.	LOCATION	TYPE	SIZE (W x H)	R.O. HEAD HT	OPERATION	INT. FN.	HOUR	COLOR	SPRINKLED	ORIENTATION	EGRESS
B01	BASEMENT	HOPPER	7'-7-1/2" x 7'-3-1/2"	TOP OF CONC. BALL	STANDARD	WHITE	WHITE	SAND	YES	NORTH	
B02	BASEMENT	HOPPER	7'-7-1/2" x 7'-3-1/2"	TOP OF CONC. BALL	STANDARD	WHITE	WHITE	SAND	YES	SOUTH	
M01	STUDY	DOUBLE CASSETT	(2) 2'-4" x 5'-4"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	WEST	YES
M02	LIVING ROOM	DOUBLE CASSETT	(2) 2'-8" x 5'-4"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	WEST	YES
M03	DINING ROOM	DOUBLE CASSETT	(2) 2'-8" x 5'-4"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	SOUTH	YES
M04	DINING ROOM	DOUBLE CASSETT	(2) 2'-8" x 5'-4"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	EAST	YES
M05	KITCHEN	DOUBLE CASSETT	(2) 2'-8" x 5'-4"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	EAST	YES
M06	KITCHEN	CASSETT	7'-8" x 4'-8"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	NORTH	
M07	STUDY	CASSETT	7'-4" x 4'-8"	8'-6-1/2"	STANDARD	WHITE	WHITE	SAND	-	NORTH	YES
200	M. BEDROOM	DOUBLE CASSETT	(2) 2'-4" x 4'-8"	6'-5-1/2"	STANDARD	WHITE	WHITE	SAND	-	WEST	YES
201	M. BEDROOM	DOUBLE CASSETT	(2) 2'-4" x 4'-8"	6'-5-1/2"	STANDARD	WHITE	WHITE	SAND	-	SOUTH	YES
202	BEDROOM	DOUBLE CASSETT	(2) 2'-4" x 4'-8"	6'-5-1/2"	STANDARD	WHITE	WHITE	SAND	-	SOUTH	YES
203	BEDROOM	DOUBLE CASSETT	(2) 2'-4" x 4'-8"	6'-5-1/2"	STANDARD	WHITE	WHITE	SAND	-	EAST	YES
204	BATH	ARCS	2'-8" x 2'-4"	6'-5-1/2"	STANDARD	WHITE	WHITE	SAND	-	EAST	

WINDOW NOTES:

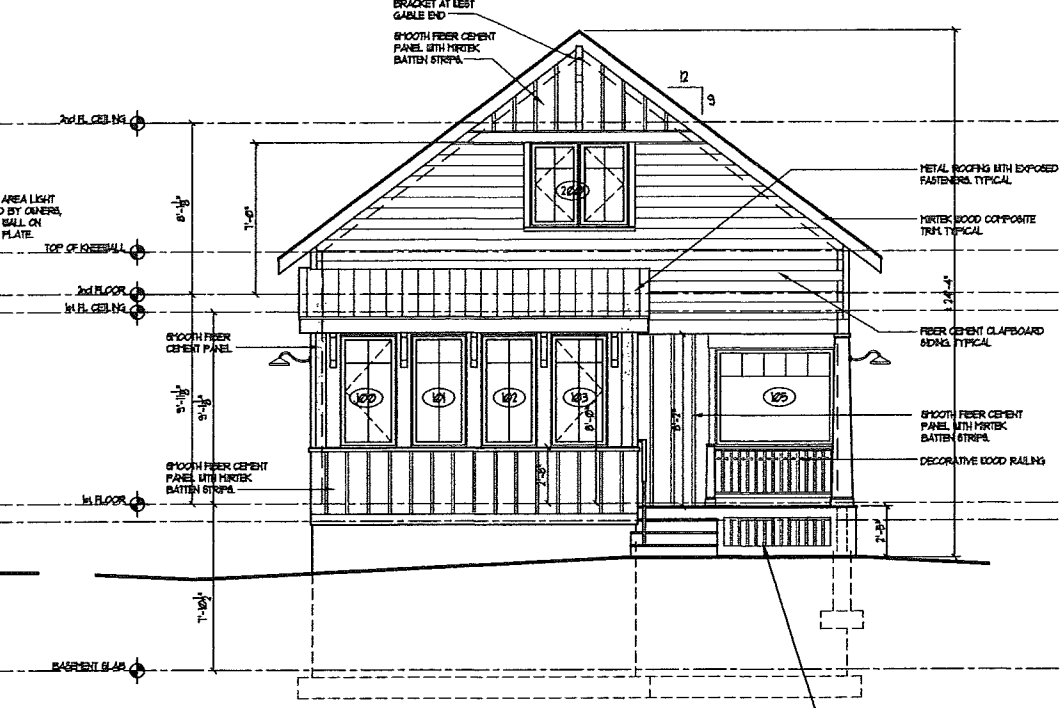
- ALL SOUTH WINDOWS TO BE SHADED IN SUMMER BY OVERHANGS OR APPLIED TRELLISES, AS NEEDED.
- ALL WINDOWS TO BE FITTED WITH TRIPLE LOW-E GLAZING U-VALUE = 22
- ALL WINDOWS TO HAVE NAILING FLANGE
- HEAD HEIGHTS VARY. NOTE HEAD HEIGHTS IN SCHEDULE AND ON ELEVATIONS
- HEAD HEIGHTS INDICATED ARE HEADS FROM AVANTIC FLOOR DECK
- ROUGH OPENING DIMENSIONS ASSUMED TO BE FRAME DIMENSION PLUS 1/2". VERIFY WITH SELECTED WINDOW MANUFACTURER.



footprint = 994sf
 1st floor = 842sf
 2nd floor = +/- 706sf
 total = 1548

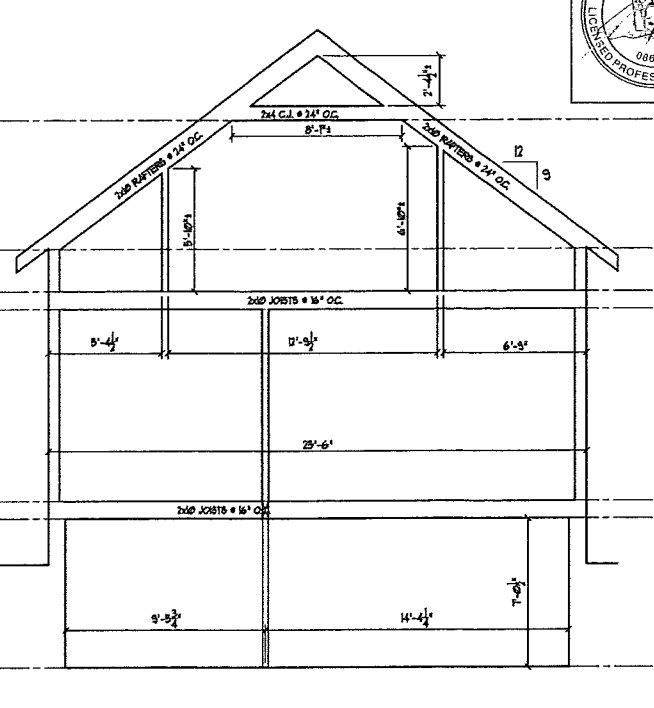


South Elevation



West Elevation

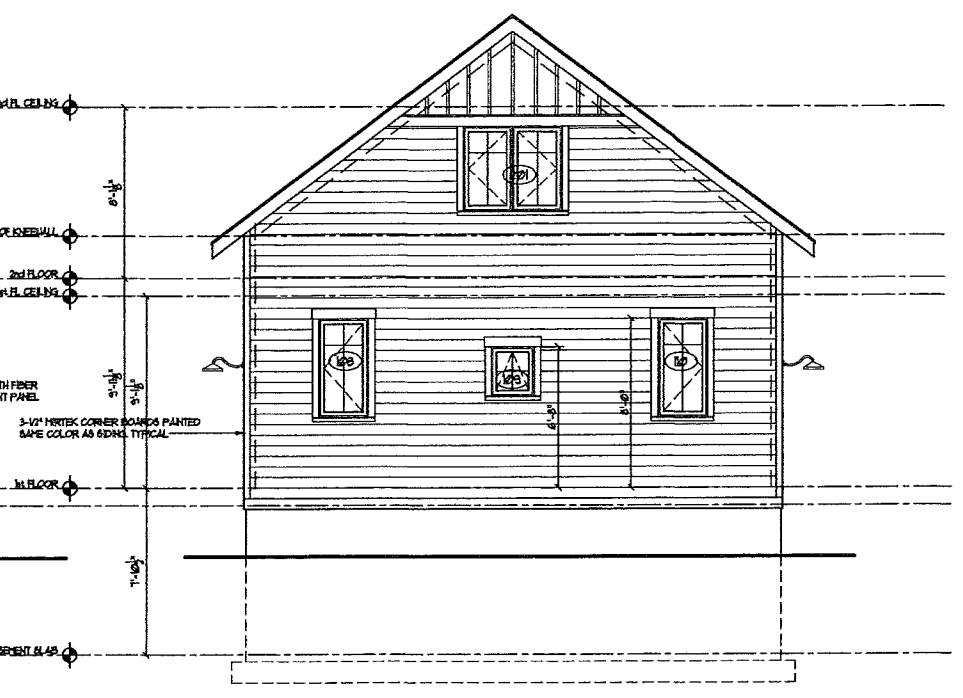
ALL PORCHES. IT IS THE DESIGN INTENT TO ALIGN THE TOP OF DECORATIVE RAILINGS WITH ADJACENT WINDOW SILL. THIS RESULTS IN RAILINGS LESS THAN 36". DURING FINISH GRADING, MAINTAIN LESS THAN A 30" DROP FROM PORCH FLOOR TO GRADE.



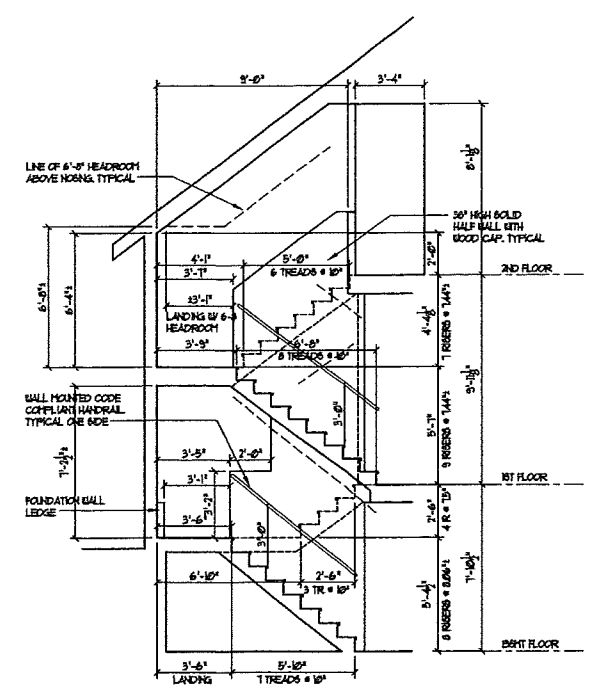
Schematic Building Section



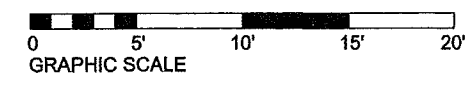
North Elevation

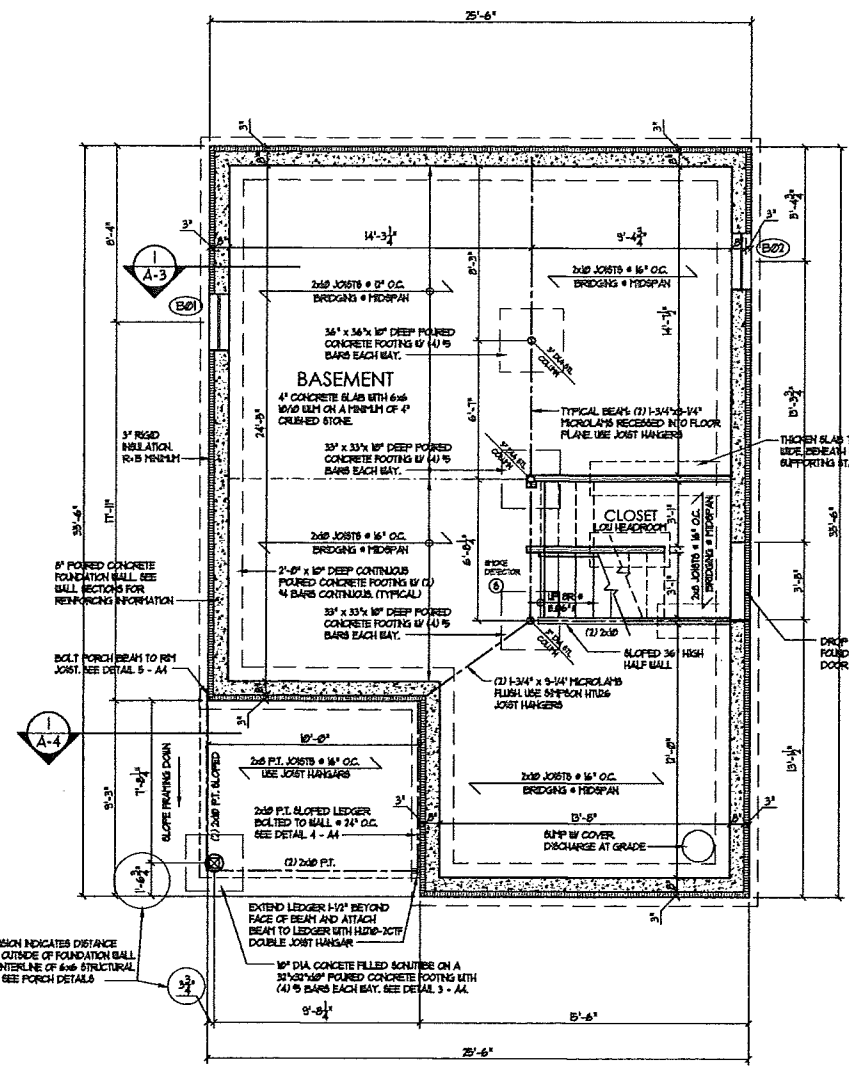


East Elevation

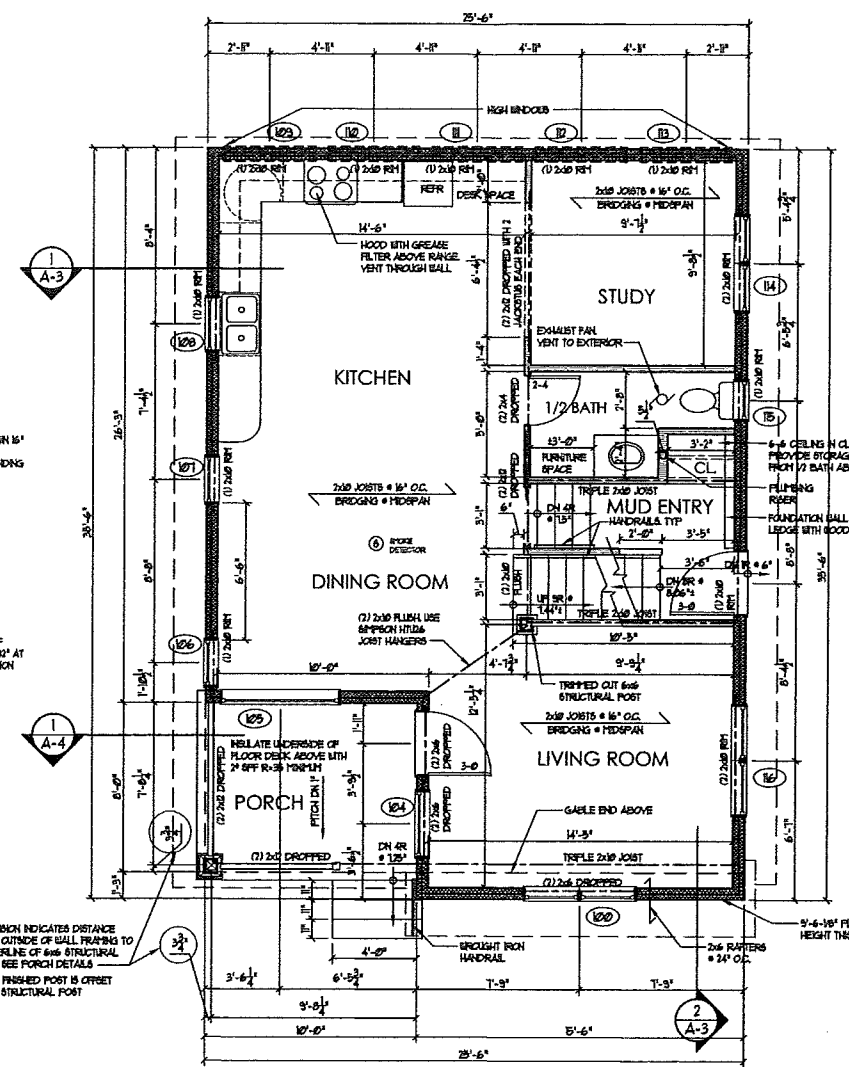


Schematic Stair Section

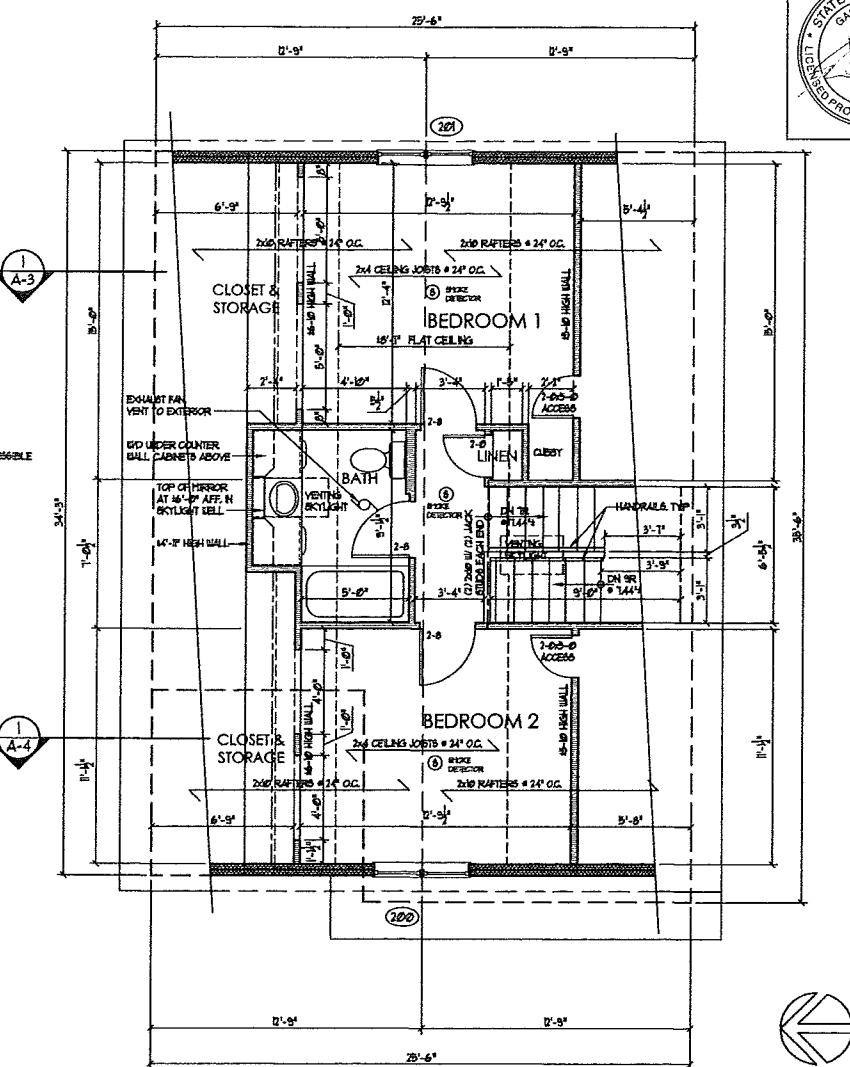




Basement Floor Plan



First Floor Plan



Second Floor Plan

DIMENSION INDICATES DISTANCE FROM OUTSIDE OF FOUNDATION WALL TO CENTERLINE OF 6x6 STRUCTURAL POST. SEE PORCH DETAILS.

EXTEND LEDGER 1/2" BEYOND FACE OF BEAM AND ATTACH BEAM TO LEDGER WITH 1/2x2x10" DOUBLE JOIST HANGER.

DIMENSION INDICATES DISTANCE FROM OUTSIDE OF WALL FRAMING TO CENTERLINE OF 6x6 STRUCTURAL POST. SEE PORCH DETAILS. NOTE: FINISHED POST IS OFFSET FROM STRUCTURAL POST.

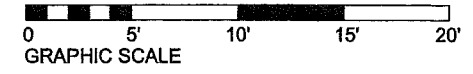
NOTE: ALL FASTENERS AND HANGERS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE DOUBLE HOT DIP GALVANIZED, STAINLESS STEEL, OR OTHERWISE RATED FOR USE WITH P.T. LUMBER.

HABITABLE ROOM	RM AREA	REQUIRED LF	PROVIDED SF
		LIGHT	VENT
LIVING ROOM	81	14.50	1.75
DINING ROOM	84	13.50	1.65
STUDY	52	14.0	3.30
KITCHEN	73	8.50	1.75
BEDROOM 1	51	2.6	6.3
BEDROOM 2	36	3.50	4.85

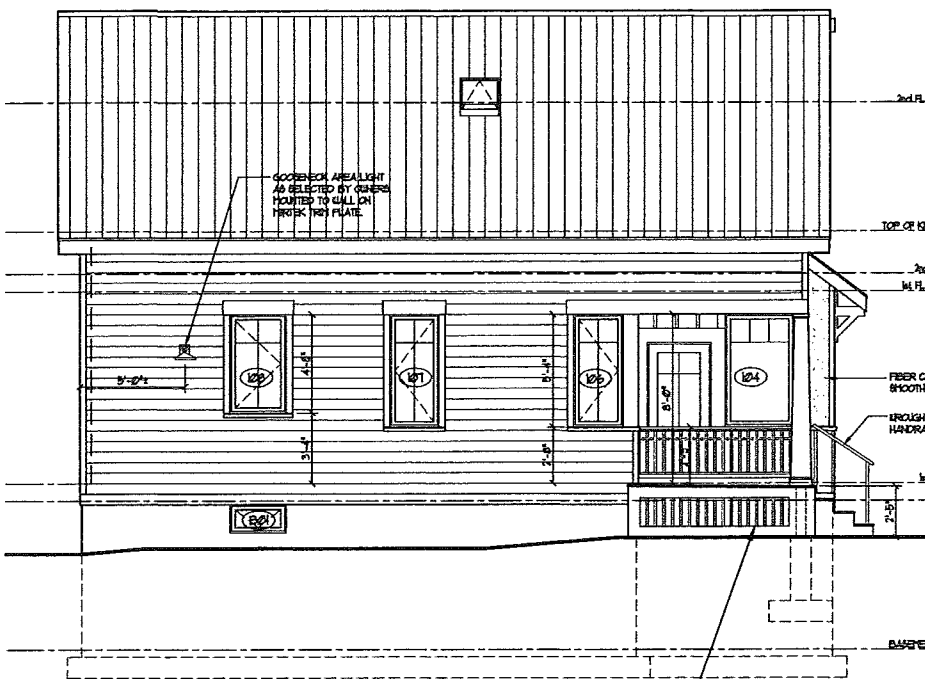
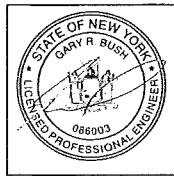
PLAN NOTES:
- ALL INTERIOR PARTITION WALLS ASSUMED TO BE 3-1/2" THICK: 2x4 STUDS @ 16" O.C., UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO ROUGH FRAMING.
- UNLESS A HEADER IS NOTED AS "DROPPED", THE RIM JOIST ACTS AS THE HEADER ABOVE OPENINGS IN EXTERIOR WALLS ON THE FIRST FLOOR. USE JOIST HANGERS TO FASTEN FLOOR JOISTS TO RIM JOIST ABOVE ALL OPENINGS, SO THAT RIM JOIST CARRIES LOAD. FOR WINDOW OPENINGS LESS THAN 30" WIDE, HANGER IS NECESSARY. USE (5) 10d COMMON NAILS END NAILED INTO FLOOR JOIST AND ENSURE DOUBLE TOP PLATE IS USED BELOW.
- CLOSETS TO BE SCREENED BY DOORS OR CURTAIN AT OWNER'S OPTION. INSTALL ROD AND SHELF TYPICAL.

NO.	LOCATION	TYPE	SIZE	R/O. HEAD HT	OPERATION	INT. FIN.	HOUR	COLOR	TEMPERED	ORIENTATION	EGRESS
101	BASEMENT	HOPPER	2'-1/2" x 1'-3-1/2"	TOP OF CONC. WALL	STANDARD	WHITE	WHITE	BAND	YES	NORTH	
102	BASEMENT	HOPPER	2'-1/2" x 1'-3-1/2"	TOP OF CONC. WALL	STANDARD	WHITE	WHITE	BAND	YES	SOUTH	
103	LIVING ROOM	DOUBLE CASHEM	(2) 2'-8" x 8'-4"	8'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	WEST	YES
104	LIVING ROOM	FIXED	3'-3" x 8'-4"	8'-0-1/2"	-	WHITE	-	BAND	YES	NORTH	
105	DINING ROOM	FIXED	8'-0" x 8'-4"	8'-0-1/2"	-	WHITE	-	BAND	-	WEST	
106	DINING ROOM	CASHEM	2'-8" x 8'-4"	8'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	NORTH	YES
107	DINING ROOM	CASHEM	2'-8" x 8'-4"	8'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	NORTH	YES
108	KITCHEN	CASHEM	2'-8" x 4'-8"	8'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	NORTH	
109	KITCHEN	FIXED	4'-8" x 1'-8"	8'-10-1/2"	-	WHITE	-	BAND	-	EAST	
110	KITCHEN	FIXED	4'-8" x 1'-8"	8'-10-1/2"	-	WHITE	-	BAND	-	EAST	
111	KITCHEN	FIXED	4'-8" x 1'-8"	8'-10-1/2"	-	WHITE	-	BAND	-	EAST	
112	STUDY	FIXED	4'-8" x 1'-8"	8'-10-1/2"	-	WHITE	-	BAND	-	EAST	
113	STUDY	FIXED	4'-8" x 1'-8"	8'-10-1/2"	-	WHITE	-	BAND	-	EAST	
114	STUDY	DOUBLE CASHEM	(2) 2'-4" x 4'-8"	8'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	YES
115	BATHROOM	ADJING	2'-8" x 2'-4"	6'-9-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	
116	LIVING ROOM	DOUBLE CASHEM	(2) 2'-8" x 8'-4"	8'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	SOUTH	YES
120	BEDROOM	DOUBLE CASHEM	(2) 2'-4" x 4'-8"	7'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	WEST	YES
121	BEDROOM	DOUBLE CASHEM	(2) 2'-4" x 4'-8"	7'-0-1/2"	STANDARD	WHITE	WHITE	BAND	-	EAST	YES

WINDOW NOTES:
- ALL SOUTH WINDOWS TO BE SHADDED IN SUMMER BY OVERHANGS OR APPLIED TRELLISES, AS NEEDED.
- ALL WINDOWS TO BE FITTED WITH TRIPLE LOW-E GLAZING U-VALUE = 22.
- ALL WINDOWS TO HAVE HALLING FLANGE.
- HEAD HEIGHTS VARY: NOTE HEAD HEIGHTS IN SCHEDULE AND ON ELEVATIONS.
- HEAD HEIGHTS INDICATED ARE MEASURED FROM FINISHED FLOOR DECK.
- ROUGH OPENING DIMENSIONS ASSUMED TO BE FRAME DIMENSION PLUS 1/2". VERIFY WITH SELECTED WINDOW MANUFACTURER.

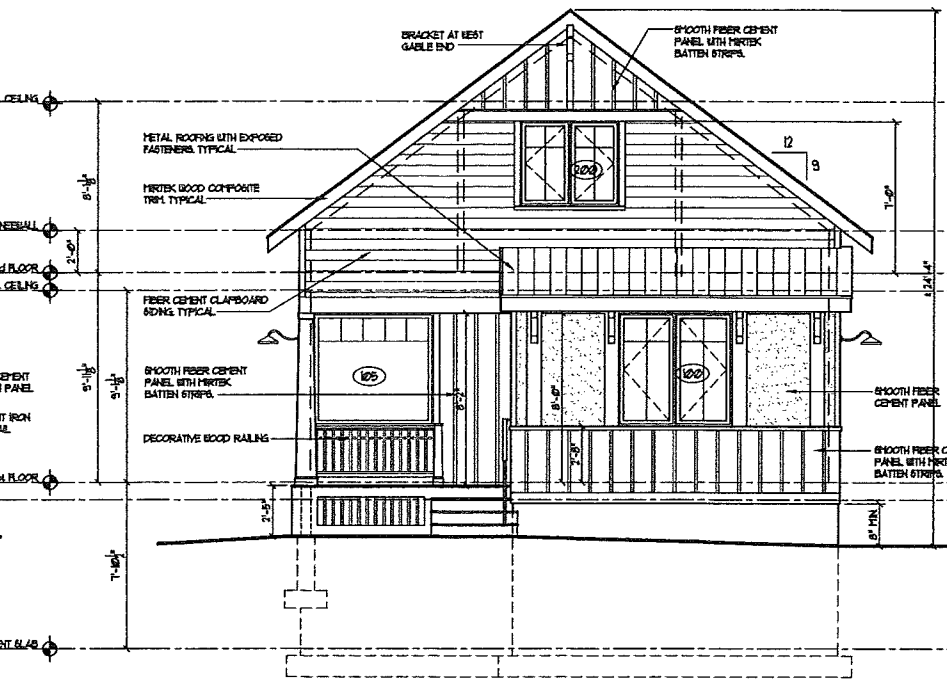


footprint = 895sf
1st floor = 812sf
2nd floor = +/- 538sf
total = 1350

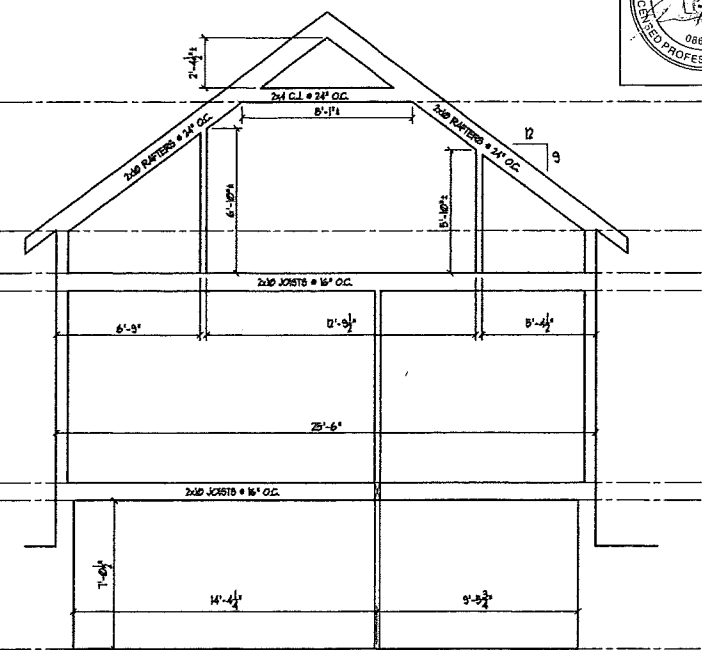


North Elevation

ALL PORCHES, IT IS THE DESIGN INTENT TO ALIGN THE TOP OF DECORATIVE RAILINGS WITH ADJACENT WINDOW SILL. THIS RESULTS IN RAILINGS LESS THAN 36". DURING FINISH GRADING, MAINTAIN LESS THAN A 30" DROP FROM PORCH FLOOR TO GRADE.



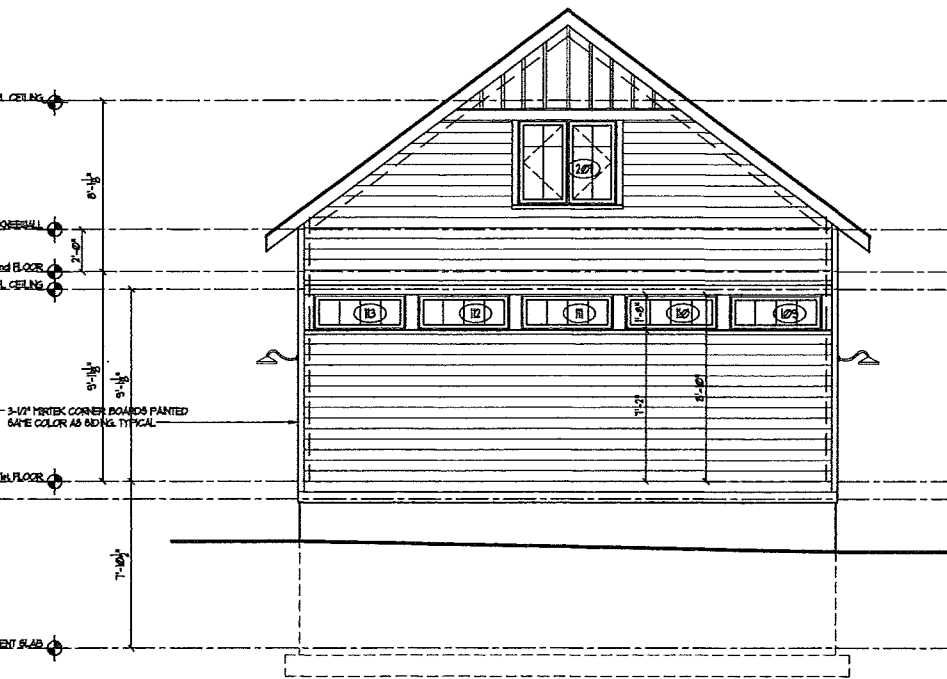
West Elevation



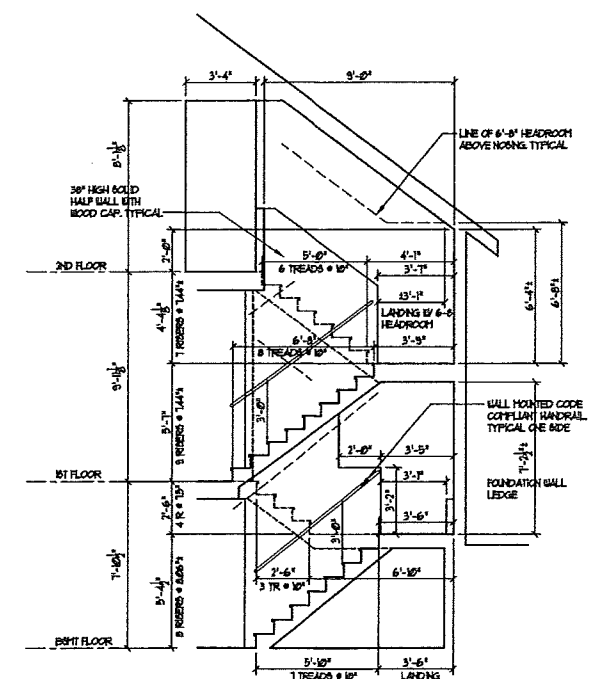
Schematic Building Section



South Elevation



East Elevation



Schematic Stair Section

