

EXISTING
TWO STORY BUILDING

NEW FIRE RACK
LOCATION

NEW FLAG POLE
PAD LOCATION

PROTECTION EDGE FOR LEVELS 5 TO 10
CANTILEVERING OVER GREEN ST. GARAGE

EXISTING STAIRWELL
TO UPPER LEVEL
PARKING STRUCTURE

SECOND FLOOR ELEV =
432.7'± (AT CONC. DECK)
THIRD FLOOR ELEV =
442.7'± (AT CONC. DECK)

NEW HOTEL FIRE
BARRIER (REFER TO
LIFE SAFETY PLANS)

POINT-OF-CONNECTION TO
GARAGE AT BOTH LOWER
AND UPPER DECKS

EXISTING
MASONRY BUILDING
CITY PARKING GARAGE
ABOVE UPPER LEVEL
AT RIGHTS ABOVE
ELEV. + 40' CITY DATUM

EX. ENTR. ELEV
= 415.6'

EX. LOADING DOCK
ELEV. = 415.6'

EX. LOADING DOCK
UNDER PARKING STRUCTURE

EX. CONC. WALK

APPROXIMATE
RIGHT-OF-WAY LINE

PROPOSED 10-STORY
HOTEL
(FULLY SPRINKLERED)
PROPOSED CONSOLIDATED
PARCEL

NEW
ELEVATOR

RELOCATED TRANSFORMER
(SURFACE)

NEW CONC. WALK

NEW CURB

N.Y.S. ROUTE 79
EASTBOUND TRAFFIC ONLY

NEW ADA
SIDEWALK
RAMP

NEW CONC.
APRON

PROPOSED PROPERTY
LINE

LANDSCAPE RETAINING
WALL

NEW CONC. PAD
FOR RELOCATED
TRANSFORMER
(OPTION 1)

NEW ADA
SIDEWALK
RAMP

NEW CONC. PAD
FOR RELOCATED
TRANSFORMER
(OPTION 2)

NEW CURB

FACE OF CURB

TERRACED PLANTER
AREAS

1 SITE PLAN
SCALE: 1"=10'-0"

10 0 10 20 30
FEET
Scale: 1"=10'

SITE NOTES:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS, AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATIONS AND NUMBER OF BUILDING UTILITY ENTRANCES.
2. CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH CITY OF ITHACA STANDARDS AND SPECIFICATIONS WITHIN THE PROJECT LIMITS.
3. ALL CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED TO THE CONSTRUCTION LIMITS. ANY AREA OUTSIDE THE CONSTRUCTION LIMITS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.
4. SAFE AND CONTINUOUS THROUGH TRAFFIC, INGRESS, AND EGRESS FOR ADJACENT DRIVEWAYS, PARKING SPACES AND SERVICE ROADS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD.
5. CONTRACTOR SHALL CONTACT "NY SAFELY NEW YORK" AT 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION. ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED FROM DAMAGE UNLESS OTHERWISE SPECIFIED FOR ALTERATION AS PART OF THIS PROJECT.
6. THE CONTRACTOR SHALL BE PERMITTED TO STORE/STAGE EQUIPMENT AND MATERIALS WITHIN THE PROJECT LIMITS AT THE CONTRACTOR'S OWN RISK AND AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPMENT OF THE SITE IN A FASHION THAT WILL PERMIT ADEQUATE STAGING.
7. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL PROPERTY, EASEMENT AND R.O.W. BOUNDARIES.
8. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
9. ALL WORK SHALL COMPLY WITH ALL OSHA, FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
10. THE CONTRACTOR SHALL VERIFY SURVEY DATA AS DEPICTED ON THE PLANS. ANY DISCREPANCIES OR OTHER ITEMS IN CONFLICT SHALL BE NOTED AND ADJUSTED WITH THE RESIDENT ENGINEER'S PERMISSION IN CONSULTATION WITH THE PROJECT SURVEYOR.

SITE DATA

TAX ACCOUNT NUMBER: TO BE DETERMINED (B)		
CURRENT SITE AREA = 0.2 ACRES ±		
CURRENT ZONING: CSD-B5		
ZONING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	NONE	+/- 0.2 AC
LOT DEPTH	NONE	+/- 85'
LOT WIDTH	10'	+/- 115'
LOT COVERAGE (MAX.)	100%	100%
BUILDING HEIGHT (MAX.)	85'	+/- 106'8" (A)
BUILDING SETBACKS		
FRONT (AURORA ST)	NONE	3'
SIDE	NONE	---
REAR	10'	0'8"

- * REQUIRES REC-APPROVAL OF 2009 VARIANCE. REFER TO:
1. ISDA APPEAL #2787 DATED APRIL 15, 2009 AND APPEAL RESUBMISSION ON 8/30/12.
 2. BUILDING PERMIT #22534.
- (A) 100' MEASURED FROM AVERAGE RESULTING GRADE AT TERRACED PLANTERS.
- (B) STREET ADDRESSES FOR ITHACA MARRIOTT AND ADJOINING TAX PARCELS A AND B CORRESPONDING TO TAX MAP ID # 70-4-4-3 AND # 70-4-4-4 IS 120 SOUTH AURORA ST.



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ISSUANCES		
No.	Drawing Issue Description	Date
2	DESIGN DEVELOPMENT	09/05/12
1	SCHEMATIC DESIGN	06/18/12

ITHACA MARRIOTT

120 South Aurora St.
Ithaca, NY 14850

URGO HOTELS

SITE PLAN

MARK GROVANZ, P.E. 20120120.01
Project Engineer
MIKE WALL 09/05/12
Project Manager
ANDRES RUBIO
Project Architect
Author
Wall Architect

C100

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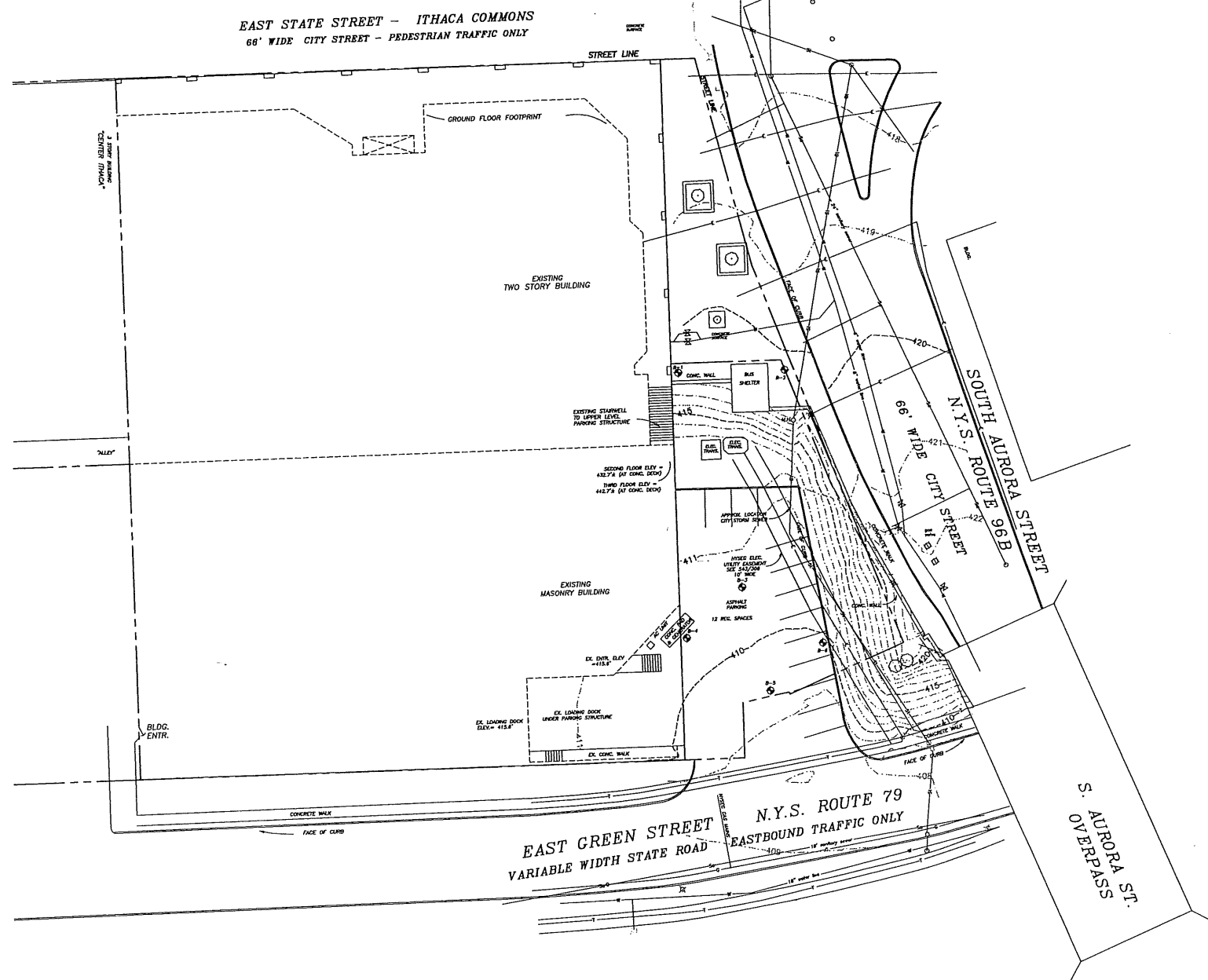


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ITHACA MARRIOTT

120 South Aurora St.
Ithaca, NY 14850
URGO HOTELS

SURVEY BASEMAP PLAN

[illegible]

NOTE: BASEMAP SURVEY BY OTHERS
AND ASSUMED CORRECT

1 SURVEY BASEMAP PLAN
C110 SCALE: 1" = 20'-0"





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SITE NOTES:

1. FIELD SURVEY PERFORMED BY OTHERS AND ASSUMED CORRECT. UTILITY INFORMATION PROVIDED BY OTHERS.
2. TOTAL DISTURBED AREA FOR BASE BID WORK = 0.316 Ac

DEMOLITION NOTES:

1. CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTION ORGANIZATION (UFO) AT LEAST (7) FULL WORKING DAYS PRIOR TO THE START OF THE DEMOLITION PHASE (800) 962-7962. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ANY AND ALL UTILITY COMPANIES THAT ARE NOT A MEMBER OF THE "DIG SAFELY NEW YORK" PROGRAM. THE CONTRACTOR SHALL PAY FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITY LINES OR LOSS OF SERVICE.
3. THE CONTRACTOR SHALL DELINEATE, REMOVE, AND PROPERLY DISPOSE OF ANY CONTAMINATED SOIL AND MATERIALS ON-SITE THAT EXCEED NYSDEC THRESHOLD VALUES. HANDLING, REMOVAL, AND DISPOSAL OF CONTAMINATED MATERIALS SHOULD TAKE PLACE IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL REGULATIONS.
4. THE CONTRACTOR SHALL PROTECT AND ADJUST EXISTING UTILITY STRUCTURES WHEN MILLING OR REMOVING EXISTING PAVEMENT.
5. SEE ARCHITECT'S PLANS FOR BUILDING / PARKING GARAGE DEMOLITION SCOPE.

ISSUANCES

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LEGEND

---	SAWCUT LINE/LIMIT OF CONSTRUCTION
---	CONSTRUCTION FENCE
	FEATURE LINE TO BE REMOVED/RELOCATED
X	FEATURE TO BE REMOVED
○	TREE PROTECTION

ITHACA MARRIOTT

120 South Aurora St.
Ithaca, NY 14850
URGO HOTELS

DEMOLITION PLAN

MARK GROVANZ, P.E.	20120120.01
Principal in Charge	Project No.
MIKE WALL	09/05/12
Project Manager	Date
ANDRES RUBIO	
Project Architect	
AJURY	
Architect	

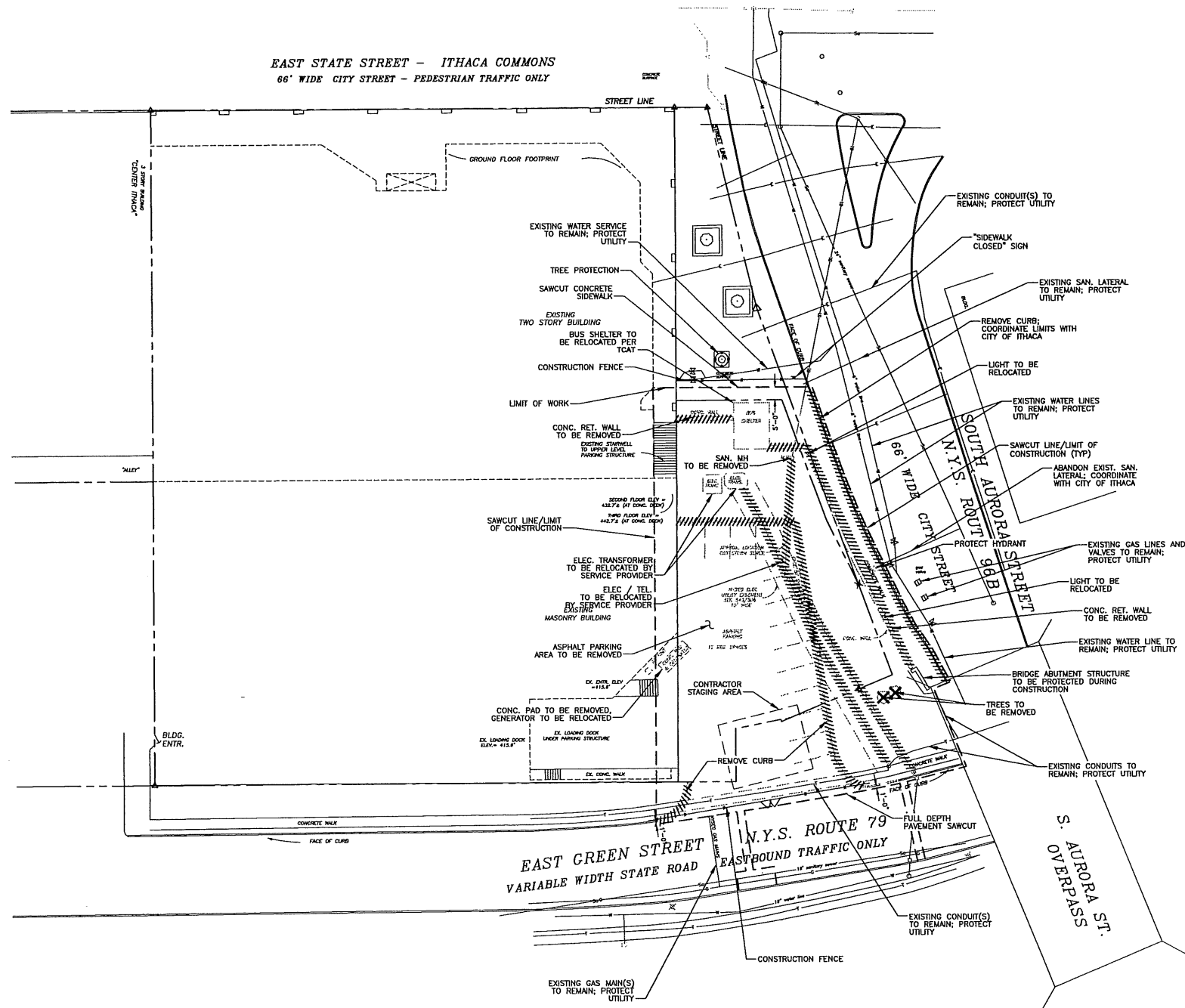
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☐ Mark The Buried Lines
☐ Coordinate Utility Movement
☐ Manage Site Safety
☐ Dig With Care

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EAST STATE STREET - ITHACA COMMONS 66' WIDE CITY STREET - PEDESTRIAN TRAFFIC ONLY



1 DEMOLITION PLAN
C120 SCALE: 1"=20'-0"

20 0 20 40 60
FEET
Scale: 1"=20'

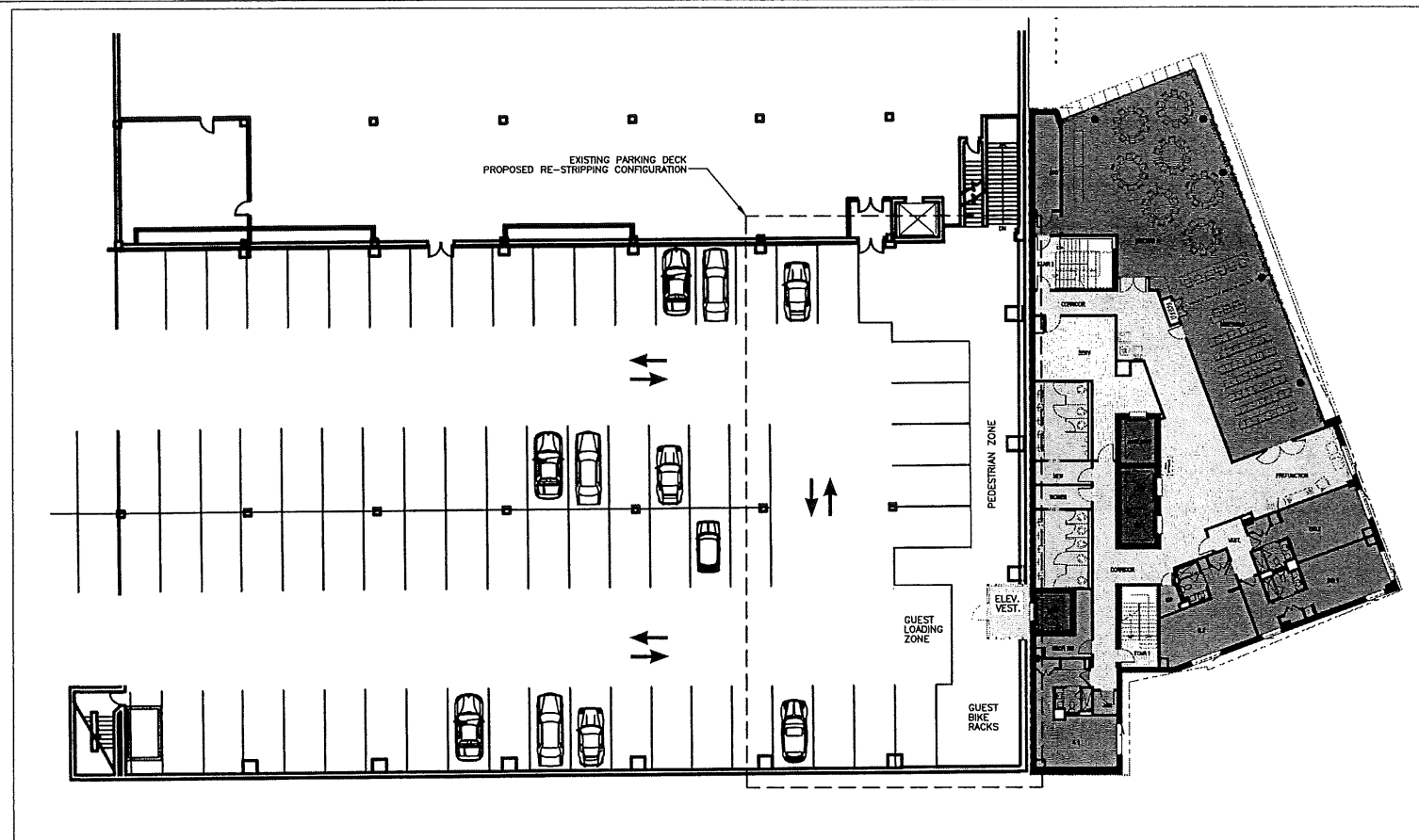


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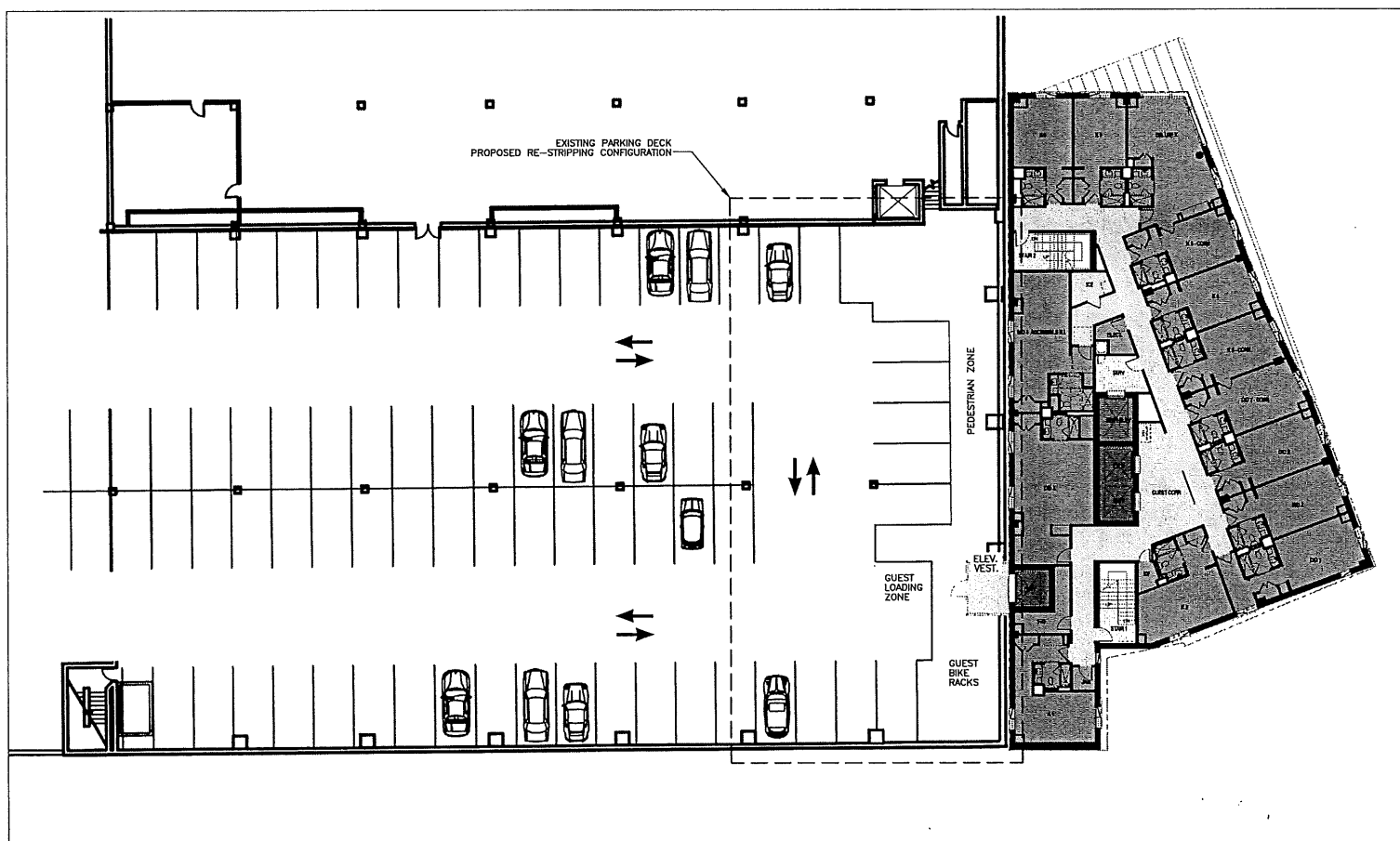
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1 PARKING PLAN (LOWER LEVEL)
SCALE: N.T.S.



2 PARKING PLAN (UPPER LEVEL)
SCALE: N.T.S.

ITHACA MARRIOTT

120 South Aurora St.
Ithaca, NY 14850

URGO HOTELS

PARKING
PLAN

MARK GROVANS, P.E. 20120120.01
Project Manager
MIKE WALL 09/05/12
Date

ANDRES RUBIO
Project Architect
Author
Staff Architect

C130

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EXISTING
TWO STORY BUILDING

EXISTING STAIRWELL
TO UPPER LEVEL
PARKING STRUCTURE

SECOND FLOOR ELEV =
432.7'± (AT CONC. DECK)
THIRD FLOOR ELEV =
442.7'± (AT CONC. DECK)

EXISTING
MASONRY BUILDING

EX. ENTR. ELEV
=415.6'

EX. LOADING DOCK
ELEV. = 415.6'

EX. LOADING DOCK
UNDER PARKING STRUCTURE

EX. CONC. WALK

EAST GREEN STREET
VARIABLE WIDTH STATE ROAD

N.Y.S. ROUTE 79
EASTBOUND TRAFFIC ONLY

1 UTILITY PLAN
SCALE: 1"=10'-0"

10 0 10 20 30
FEET
Scale: 1"=10'

UTILITY NOTES:

1. CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" AT 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
2. THE LOCATIONS, SIZES, AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN HEREIN ARE BASED ON RECORD DRAWINGS AND FIELD VERIFICATION WHERE POSSIBLE. THIS INFORMATION SHALL BE CONSIDERED APPROXIMATE ONLY AND ITS ACCURACY IS NOT GUARANTEED. AS SUCH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION.
3. ALL UTILITIES AND SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF TRENCHING SO THAT ADJUSTMENTS CAN BE MADE IN ELEVATION AND, OR, ALIGNMENT TO PREVENT CONFLICTS, IF REQUIRED.
5. THE PROPOSED LOCATION OF THE WATER, GAS, AND ELECTRIC UTILITIES ARE BASED ON HORIZONTAL ALIGNMENT ONLY. THE CONTRACTOR MAY HAVE TO INSTALL THESE UTILITIES AT DEPTHS GREATER THAN SPECIFIED TO AVOID VERTICAL CONFLICTS WITH OTHER SITE FEATURES.
6. IF SHEETING OR SHORING IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS DESIGN, INSTALLATION, AND REMOVAL, AS PART OF THE CONTRACTOR'S ESTIMATE.
7. ALL ON-SITE PAVEMENTS TO BE CROSSED BY UTILITY INSTALLATIONS SHALL BE SAW CUT AT OR BEYOND THE REQUIRED LIMIT OF DISTURBANCE AND RESURFACED TO THE EDGE OF THE EXISTING PAVEMENT. INSTALLATION OF UTILITIES UNDER NEW PROJECT PAVEMENTS SHALL NOT BE PERMITTED UNLESS THE CONTRACTOR RESURFACES THE ENTIRE AREA AT THE CONTRACTOR'S EXPENSE.
8. ALL EXISTING UTILITIES TO BE CROSSED AND ALL UTILITY POLES NEAR EXCAVATIONS SHALL BE PROTECTED, PRESERVED, AND SUPPORTED AS NECESSARY BY THE CONTRACTOR AS PART OF THE CONTRACTOR'S COST ESTIMATE.
9. ANY EXISTING STORM DRAINAGE PIPES, INCLUDING DRIVEWAY CULVERTS, NOT DESIGNATED TO BE REMOVED, WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH IN KIND MATERIALS AS SPECIFIED AND APPROVED BY ENGINEER.
10. ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE PROTECTED UNTIL FINAL STABILIZATION IS ACHIEVED, AS SPECIFIED ON THE GRADING PLAN AND WITHIN THE CONTRACT DOCUMENTS. IF CONTAMINATED, THE CONTRACTOR SHALL CLEAN ALL SEWER INLETS, AND PIPES, AT THE CONTRACTOR'S EXPENSE, PRIOR TO ISSUANCE OF SUBSTANTIAL COMPLETION.
11. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS, AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATIONS AND NUMBER OF BUILDING UTILITY ENTRANCES.
12. REFER TO PLUMBING PLANS FOR GAS METER AND CONNECTION, AND WATER SERVICE CONNECTIONS.
13. REFER TO ELECTRICAL PLANS FOR ELECTRIC CONNECTION AND TRANSFORMER INFORMATION.
14. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF HOLLY SERVICE PRIOR TO INSTALLATION AND VERIFY THAT THE PROPOSED CONNECTION IS WITHIN THE EASEMENT AREA. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF CONFLICT EXISTS.

STORM SEWER NOTES

1. COMPACTION REQUIRED FOR ALL BEDDING, SELECT FILL AND BACKFILL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT REPRESENTATIVE. SEE SPECIFICATIONS AND DETAILS FOR REQUIREMENTS.
2. ALL DRAINAGE STRUCTURES TO HAVE OPEN GRATING TOP UNLESS "COVERED MANHOLE SYMBOL" IS INDICATED ON THE UTILITY DRAWING. FOR "COVERED" STRUCTURES, REUSE TOP DETAIL TO BE SAME AS THAT SHOWN FOR SANITARY SEWER MANHOLE WITH 24" DIAMETER OPENING, EXCEPT THAT LETTERING ON COVERS FOR STORM MANHOLES SHALL BE "STORM".
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPOSED RIM ELEVATIONS IN RELATION TO PROPOSED GRADE PRIOR TO INSTALLATION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING INVERT ELEVATIONS OF ALL TIE IN LOCATIONS PRIOR TO INSTALLATION.
5. PIPE CONNECTIONS TO STORM MANHOLES SHALL BE WITH NON-SHRINK GROUT.

SITE SYMBOLS - UTILITIES

- D— STORM DRAIN LINE
- G— GAS LINE
- UGC— UNDERGROUND COMMUNICATION LINE
- W— WATER LINE
- ⊕ HYDRANT, FIRE
- ⊙ UTILITY, SANITARY MANHOLE
- CO-○ UTILITY, SANITARY CLEANOUT
- ⊙ UTILITY, ELECTRICAL MANHOLE
- S— SANITARY LINE
- E— ELECTRIC LINE, UNDERGROUND
- STORM INLET STRUCTURE
- STORM MANHOLE
- SL— SANITARY LATERAL
- UD— UNDERDRAIN
- YARD DRAIN
- * PROPOSED LIGHT POLE
- WS— WATER LATERAL



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2	DESIGN DEVELOPMENT	09/05/12
1	SCHEMATIC DESIGN	09/19/12

ITHACA MARRIOTT

120 South Aurora St.
Ithaca, NY 14850

URGO HOTELS

UTILITY PLAN

MARK GROVANS, P.E.	20120120.01
Project in Charge	Project No.
MIKE WALL	09/05/12
Project Manager	Date
ANDRES RUBIO	
Project Architect	
Author	
Staff Architect	

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EX. ENTR. ELEV
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EX. LOADING DOCK
UNDER PARKING STRUCTURE

EX. CONC. WALK

EAST GREEN STREET
VARIABLE WIDTH STATE ROAD
N.Y.S. ROUTE 79
EASTBOUND TRAFFIC ONLY

SITE SYMBOLS - GRADING AND EROSION CONTROL

- 900— EXISTING MAJOR CONTOUR
- 901— EXISTING MINOR CONTOUR
- 900— PROPOSED MAJOR CONTOUR
- 901— PROPOSED MINOR CONTOUR
- SILT FENCE
- INLET PROTECTION
- × 515.40 PROPOSED SPOT ELEVATION
- × 515.40 EXISTING SPOT ELEVATION
- 4.76%— FLOW DIRECTION AND SLOPE

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1 GRADING AND EROSION CONTROL PLAN
SCALE: 1"=10'-0"

10 0 10 20 30
FEET
Scale: 1"=10'-0"

EARTHWORK, COMPACTION & GRADING NOTES:

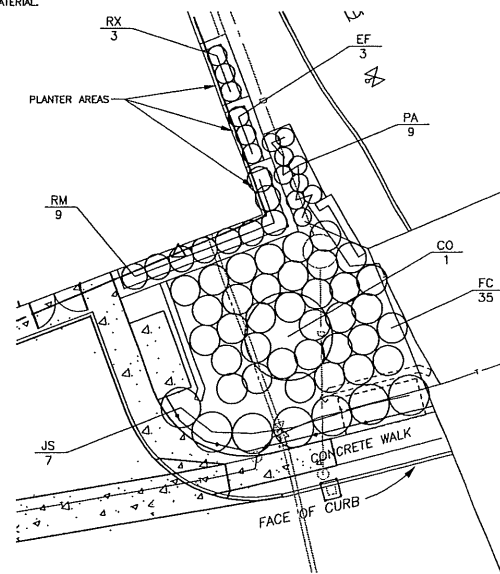
1. GRADING AND EROSION CONTROL MEASURES SHALL BE KEPT WITHIN THE LIMITS SHOWN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT COMPLETED FOR THE PROJECT. SEE GEOTECHNICAL REPORT FOR DETAILED INFORMATION REGARDING THE SITE AND EARTHWORK OPERATIONS.
3. CONTRACTOR SHALL BLEND THE TRANSITIONS BETWEEN THE EXISTING AND PROPOSED SURFACES.
4. ALL MUDDY CONSTRUCTION EQUIPMENT SHALL BE WASHED WITHIN THE PROJECT LIMITS, PRIOR TO EXITING ONTO THE ADJOINING PAVEMENTS. THE CONTRACTOR SHALL SUPPLY A HOSE AND THE WATER REQUIRED TO WASH DOWN THE EQUIPMENT. IF THE CONTRACTOR MUDDIES THE PAVEMENT OUTSIDE OF THE CONSTRUCTION LIMITS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED WATER AND CLEAN THE PAVEMENT AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION ACTIVITIES. CONTRACTOR SHALL DETERMINE EXACT LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES BEFORE CONSTRUCTION AND IS RESPONSIBLE FOR ANY NECESSARY RELOCATIONS.
6. AFTER STRIPPING AND STOCKPILING OF TOPSOIL, REMOVE FROM THE SITE ALL UNSUITABLE MATERIAL AS ENCOUNTERED IN THE FIELD (AS DIRECTED BY THE ENGINEER OR HIS REPRESENTATIVE).
7. PRIOR TO FILL OPERATIONS, ALL AREAS WITHIN THE BUILDING AND PAVEMENT FOOTPRINT THAT ARE TO RECEIVE FILL SHALL BE PRODFOLLED, AND ALL UNSTABLE MATERIAL SHALL BE REMOVED OR STABILIZED IN PLACE, AND THEN COMPACTED TO 95% MAXIMUM DENSITY AND TO A MINIMUM DEPTH OF 12", AS DETERMINED BY ASTM D-1557.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
9. EXISTING PAVEMENT SHALL BE SAW CUT TO OBTAIN A STRAIGHT AND NEAT EDGE FOR PAVING.
10. STUMPS AND BRUSH MAY NOT BE BURIED ON SITE.
11. DESIGN INTENT IS TO BALANCE CUT/FILL AS MUCH AS PRACTICAL.

EROSION CONTROL CONSTRUCTION SCHEDULE:

1. PLACE SILT FENCING AND EROSION CONTROL MEASURES AT LOCATIONS SHOWN.
2. REMOVE EXISTING ASPHALT AREAS, UTILITIES, BUILDINGS, SIDEWALKS, AND OTHER APPURTENANCES STRIP TOPSOIL AND STOCKPILE.
3. PERFORM EARTHWORK OPERATIONS TO REACH SUBGRADE ELEVATION. INSTALL ALL STORM SEWER, SANITARY SEWER, WATERMAIN, AND UTILITIES.
4. RESTORE ALL DISTURBED AREAS WITH SEEDING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL GRADING.
5. PLACE SUBBASE AND ASPHALT PAVING PER SPECIFICATIONS. ANY CONTAMINATED SUBBASE SHALL BE REMOVED AND REPLACED WITH NEW STONE PRIOR TO PAVING.
6. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL COMPLETION OF BINDER COURSE, ESTABLISHED GRASS COVER, AND MULCHED LANDSCAPED AREAS.

PLANTING NOTES:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL. DO NOT MIX TOPSOIL WITH SUB-SOIL. TOPSOIL STOCKPILES ARE TO BE USED AS PART OF THE PLANTING BED SOIL MIX.
2. TOPSOIL STOCKPILE SHALL BE STABILIZED WITH SILT FENCE ALONG THE BASE.
3. MULCH ALL LANDSCAPE AREAS NOT SHOWN TO BE SEEDED WITH DOUBLE GROUND SHREDDED BROWN SOFTWOOD BARK MULCH.
4. ALL DISTURBED UNSURFACED LAWN AREAS SHALL RECEIVE FOUR INCHES OF TOPSOIL, SEED AND MULCH AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
5. NO IRRIGATION SYSTEM IS TO BE INSTALLED. CONTRACTOR SHALL PROVIDE HARDY TREES SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT, AND PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR MAINTENANCE/WARRANTY AGREEMENT PER THE SPECIFICATIONS.
6. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.
7. ALL PLANTING BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF TWO FEET.
8. TREE PITS IN LAWN TO BE EXCAVATED TO DEPTH OF ROOT BALL PLUS 6" AND SHALL BE 3 TIMES THE WIDTH OF THE ROOT BALL.
9. A MINIMUM DEPTH OF 24" OF SOIL SHALL BE USED IN ALL TREE, LAWNS, AND PLANTING BEDS.
10. ALL TREES IN LAWN AREAS SHALL RECEIVE 5' DIAMETER MULCH RINGS.
11. ALL TREES AND PLANTS TO COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
12. NO PLANTS OR TREES SHALL BE LOCATED BENEATH BUILDING OVERHANGS.
13. STRUCTURAL SOIL SHALL BE USED UNDER ALL SIDEWALKS THAT ABUT PLANTING BEDS.
14. TREES SHALL BE BALLED AND BURLAPPED.
15. SHRUBS SHALL BE SURROUNDED WITH BARK MATERIAL.
16. SEE SHEET C-401 FOR PLANTING DETAILS.



2 LANDSCAPE PLAN
SCALE: 1"=10'-0"

PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUANT.	SIZE	ROOT	REMARKS
DECIDUOUS TREES						
CO	CELTIS OCCIDENTALIS 'MAGNIFICA'	MAGNIFICA COMMON HACKBERRY	1	2.5" CAL.	B & B	
DECIDUOUS SHRUBS						
FX	FORSYTHIA X 'COUTASOL'	GOLD TIDE FORSYTHIA	35	18" SP.	#5 CONT.	
RM	ROSA 'MEKROTA'	SCARLET MEKLAND ROSE	9	15-18" SP.	#3 CONT.	
EVERGREEN SHRUBS						
EF	ELIONIDUS FORTUNEI 'MOONSHADOW'	MOONSHADOW ELIONIDUS	3	15-18" SP.	#3 CONT.	
JS	JUNIPERUS S. 'BROADMOOR'	BROADMOOR SABINA JUNPER	7	18" SP.	#3 CONT.	
RX	RHOODODENDRON X 'WHITE REBLOOMING AZALEA'	REBLOOMING AZALEA	3	15-18" SP.	#3 CONT.	MONIKROMA
PERENNIALS / GRASSES						
PH	PERIWINKLE A. 'MAMMY'	BRIDE FOUNTAIN GRASS	9	15-18" SP.	#5 CONT.	

B&B= BALLED & BURLAPPED, CONT.= CONTAINER SIZE (GALLONS), SP.= SPREAD



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2	DESIGN DEVELOPMENT	09/05/12
1	SCHEMATIC DESIGN	09/01/12

ITHACA MARRIOTT

120 South Aurora St.
Ithaca, NY 14850

URGO HOTELS

GRADING, LANDSCAPE
AND EROSION
CONTROL PLAN

MARK GROVANS, P.E.

20120120.01

Project Manager

Project No.

09/05/12

Project Architect

Author

Drawn By

C300

NOT ISSUED FOR CONSTRUCTION

ISSUANCES		
No.	Drawing Issue Description	Date
2	DESIGN DEVELOPMENT	06/05/12
1	SCHEMATIC DESIGN	09/19/12

ITHACA MARRIOTT

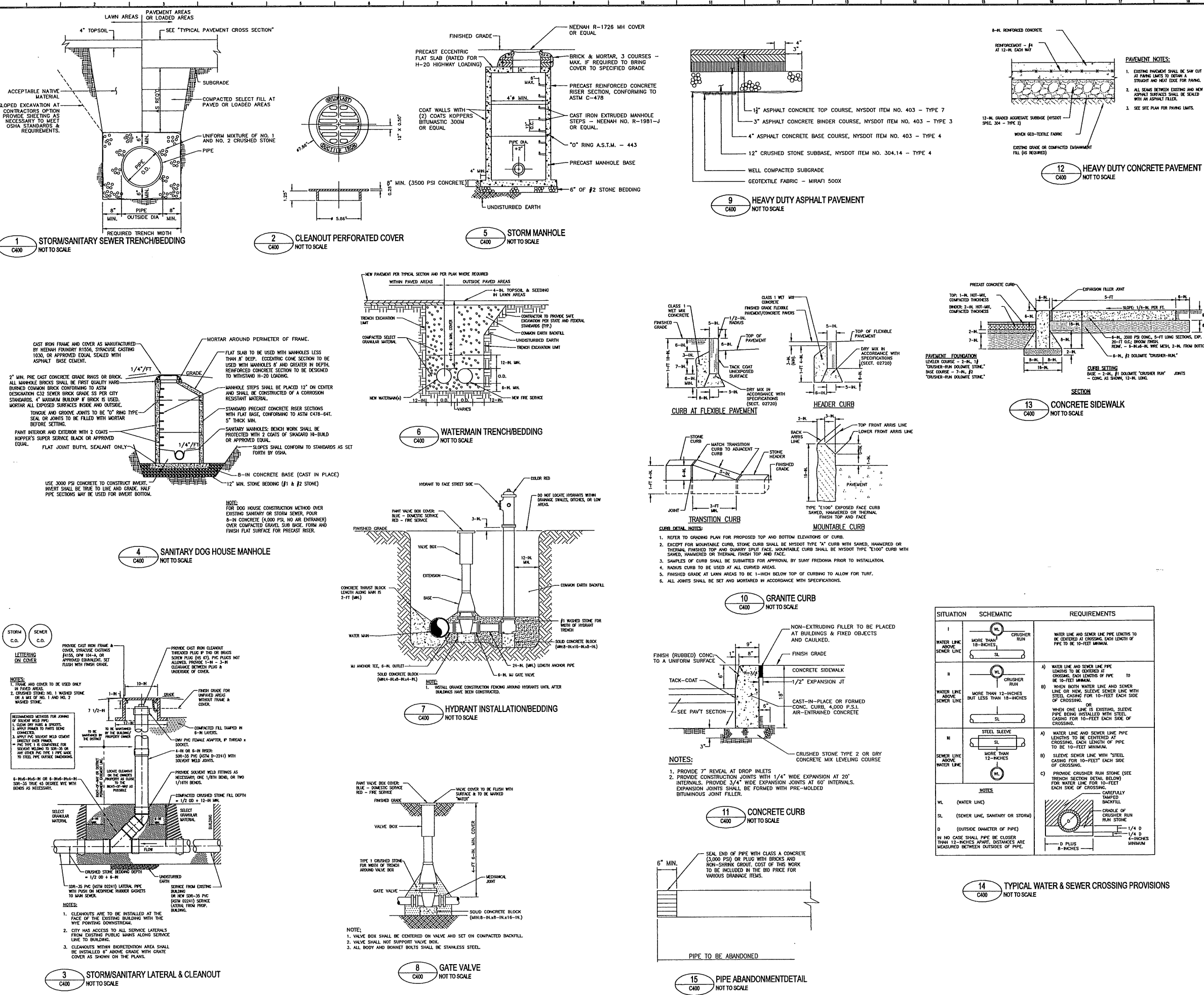
120 South Aurora St.
 Ithaca, NY 14850
 URGO HOTELS

**MISCELLANEOUS
 DETAILS 1**

MARK GROVANS, P.E.	20120120.01
Principal in Charge	Project No.
MIKE WALL	09/05/12
Project Manager	Date
ANDRES RUBIO	
Author	
Mark Grovans	

C400

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ISSUANCES		
No.	Drawing Issue Description	Date
2	DESIGN DEVELOPMENT	06/05/12
1	SCHEMATIC DESIGN	06/18/12

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120 South Aurora St.
Ithaca, NY 14850

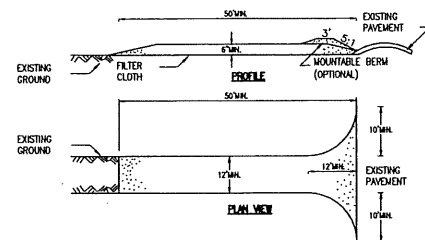
URGO HOTELS

MISCELLANEOUS
DETAILS 2

MARK GROVANS, P.E.	20120120.01
Principal in Charge	Project No.
MIKE WALL	09/05/12
Project Manager	Date
ANDRES RUBIO	
Project Architect	
Author	
Sheet Number	

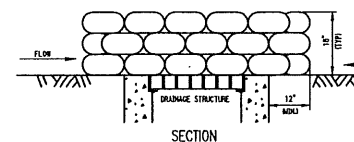
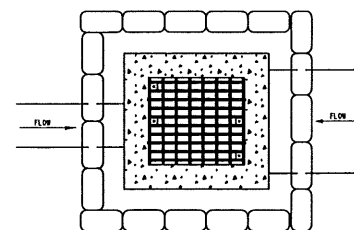
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- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE ADDRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE Piped ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE
C401 NOT TO SCALE



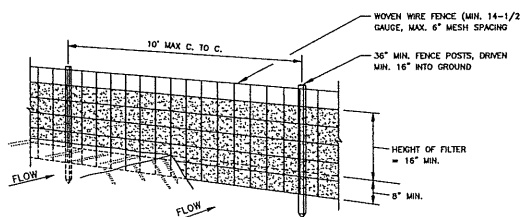
3 INLET PROTECTION
C401 NOT TO SCALE

APPLICATION NOTES:

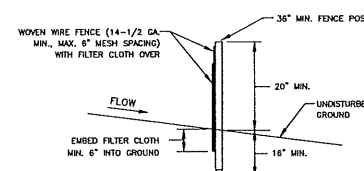
- THE PRIMARY PURPOSE OF DRAINAGE STRUCTURE INLET PROTECTION IS TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM BY PONDING WATER WHICH ALLOWS SEDIMENT TO FALL OUT OF SUSPENSION.
- GRAVEL BAGS ARE FILLED WITH CLEAN STONE RATHER THAN SAND TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM IF BAGS ARE DAMAGED DURING USE.
- THE TOP OF THE INLET PROTECTION SHALL BE SET AT THE MAXIMUM DESIRED WATER LEVEL BASED ON FIELD LOCATION AND CONDITIONS.

NOTES:

- GRAVEL BAGS SHALL BE INDIVIDUALLY TIED, DOUBLE BAGGED AND INVERTEDLY INSERTED. GRAVEL BAGS SHALL LAP THE JOINTS BETWEEN THE BAGS IN THE LAYER BELOW. COST OF EDUCATION FOR INSTALLATION SHALL BE INCLUDED IN THE PRICE BID FOR ITEM.
- MEASURES SHALL BE INSPECTED IN ACCORDANCE WITH THE NYSDCC CENTRAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND THE SWPPP THAT HAS BEEN PREPARED FOR THE PROJECT. MEASURES SHALL BE CLEANED AND REPAIRED AS REQUIRED THROUGHOUT CONSTRUCTION.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.



PERSPECTIVE VIEW

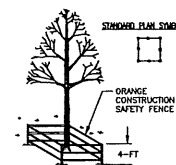


SECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BRUSH" DEVELOP IN THE SILT FENCE.

2 SILT FENCE
C401 NOT TO SCALE



TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
14-IN. OR LESS	10-FT
15-IN. TO 19-IN.	12-FT
20-IN. OR MORE	15-FT

4 TREE PROTECTION
C401 NOT TO SCALE

APPLICATION NOTES:

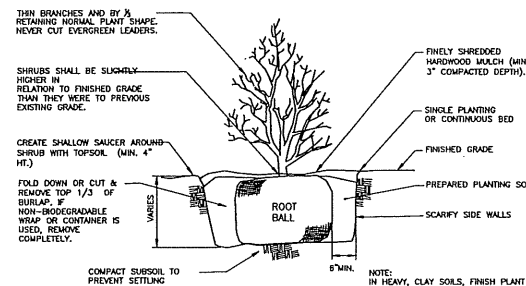
- TO PRESERVE EXISTING VEGETATION DETERMINED TO BE IMPORTANT FOR SOIL EROSION CONTROL, WATER QUALITY PROTECTION, SHADE, SCREENING, BUFFERS, WILDLIFE HABITAT, WETLAND PROTECTION, AND OTHER VALUES.
- PLACE FENCE AT THE Drip LINE OF THE TREE CANOPY OR AT THE DISTANCE LISTED IN THE CHART BELOW, WHICHEVER IS GREATER.
- DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING OR IDLING UNDER THE TREE CANOPIES.
- THERE SHALL BE NO STORAGE OF CONSTRUCTION MATERIALS BENEATH THE TREE CANOPIES.

CONSTRUCTION SPECIFICATIONS:

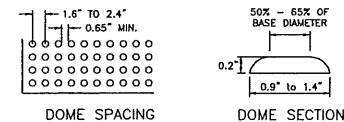
- CONSTRUCT STURDY FENCE, OR BARRIER AROUND EACH TREE TO BE PRESERVED WITHIN THE DISTURBED AREA.
- PLACE FENCE AT THE Drip LINE OF THE TREE CANOPY OR AT THE DISTANCE LISTED IN THE CHART BELOW, WHICHEVER IS GREATER.
- DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING OR IDLING UNDER THE TREE CANOPIES.
- THERE SHALL BE NO STORAGE OF CONSTRUCTION MATERIALS BENEATH THE TREE CANOPIES.

MAINTENANCE NOTES:

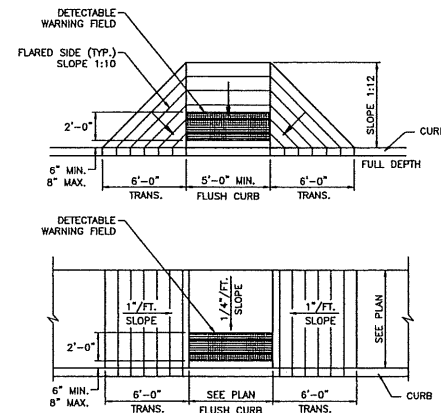
- MAINTENANCE OF FENCES AROUND TREES AS NEEDED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
- UPON STABILIZATION OF THE SITE REMOVE THE TREE PROTECTION FENCES.



5 SHRUB PLANTINGS
C401 NOT TO SCALE



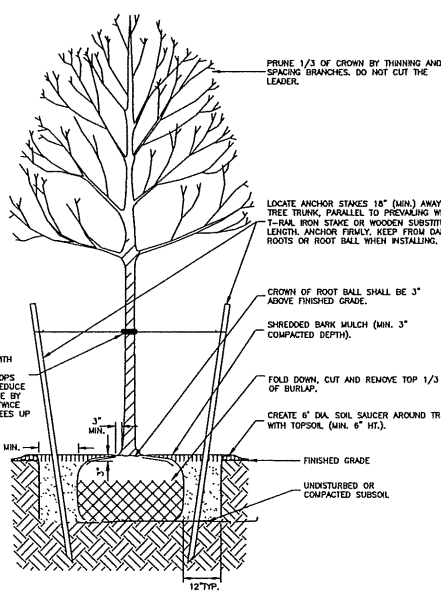
DETECTABLE WARNING FIELD



NOTES:

- SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
- REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.
- DETECTABLE WARNING FIELD SHALL EXTEND THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE.
- DETECTABLE WARNING FIELD SHALL BE "CHARCOAL" IN COLOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.

7 ACCESS RAMPS
C401 NOT TO SCALE



6 DECIDUOUS TREE PLANTINGS
C401 NOT TO SCALE

- PRUNE 1/3 OF CROWN BY THINNING AND SPACING BRANCHES. DO NOT CUT THE LEADER.
- LOCATE ANCHOR STAKES 18" (MIN.) AWAY FROM TREE TRUNK, PARALLEL TO PREVAILING WIND. T-RAIL IRON STAKE OR WOODEN SUBSTITUTE 5' LENGTH. ANCHOR FIRMLY. KEEP FROM DAMAGING ROOTS OR ROOT BALL WHEN INSTALLING.
- CROWN OF ROOT BALL SHALL BE 3" ABOVE FINISHED GRADE.
- SHREDDED BARK MULCH (MIN. 3" COMPACTED DEPTH).
- FOLD DOWN, CUT AND REMOVE TOP 1/3 OF BURLAP.
- CREATE 6" DIA. SOIL SAUCER AROUND TREE WITH TOPSOIL (MIN. 5" HGT.).
- FINISHED GRADE.
- UNDISTURBED OR COMPACTED SUBSOIL.
- 12" MIN. DIA. SOIL SAUCER AROUND TREE WITH TOPSOIL (MIN. 5" HGT.).
- 12" MIN. DIA. SOIL SAUCER AROUND TREE WITH TOPSOIL (MIN. 5" HGT.).
- 12" MIN. DIA. SOIL SAUCER AROUND TREE WITH TOPSOIL (MIN. 5" HGT.).